

CODE ANALYSIS

Table with 2 columns: Building Codes and their corresponding code names (e.g., 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA MECHANICAL CODE (CMC), etc.)

Table with 2 columns: Building Code Analysis and details (e.g., OCCUPANCY GROUP: R-3, CONSTRUCTION TYPE: TYPE V-B, SEISMIC DESIGN CRITERIA: D, etc.)

Table with 2 columns: Land Use Analysis and details (e.g., ASSESSOR'S PARCEL #: VARIES, LAND USE ZONING CLASS: VARIES, etc.)

Table with 2 columns: Suite / Space Analysis and details (e.g., TOTAL BUILDING AREA: 888 SF, AREA OF SCOPE OF WORK: 1,192 SF, etc.)

Table with 2 columns: Code Applicability for Alterations and details (e.g., CAL GREEN: REFER TO NOTES ON SHEET GS.0, CAL ENERGY CODE: REFER TO NOTES ON SHEET E1.0 AND ADDITIONAL ENERGY DOCUMENTS WITH SUBMITTAL PACKAGE)

FIRE SPRINKLER NOTE (WHERE REQUIRED): INSPECTIONS BY THE AHJ OF THE SPRINKLER SYSTEM, INCLUDING A ROUGH INSPECTION AT FRAME INSPECTION AND A FINAL INSPECTION SHALL BE COMPLETED AND APPROVED PRIOR TO REQUESTING THE CORRESPONDING BUILDING INSPECTION

PROJECT DESCRIPTION

A NEW 888 SF TWO-BEDROOM ACCESSORY DWELLING UNIT WITH FULL KITCHEN, BATHROOM DESIGNED FOR AGING IN PLACE, LIVING AREA AND LAUNDRY ROOM. THE ADU IS ALSO DESIGNED WITH AN ATTACHED GARAGE, AS WELL AS A COVERED ENTRY.

EXTERIOR FINISHES ARE SHOWN AS A WUI-COMPLIANT FIBER CEMENT PANELING FOR THE BUDGET OPTION IN THE COST ESTIMATE. OTHER SIDING OPTIONS SHOWN ARE CEMENT PLASTER OR FIBER CEMENT LAP SIDING.

PROJECT TEAM

OWNER: SHASTA COUNTY RESOURCE MGMT DEPT, 1855 PLACER STREET, REDDING, CA 96001. ARCHITECT: HAYLEY ANDERSEN GEORGE ONESHOP, 2222 CANAL DRIVE, REDDING, CA 96001.

STRUCTURAL ENGINEER: SEAN HUMMER, HUMMER ENGINEERING, 676 E. 1ST AVE. STE. 8, CHICO, CA 95926. ENERGY: TONY REGER, 5 STAR ENERGY, 940 MERCHANT STREET, REDDING, CA 96002.

COST ESTIMATOR: CHRIS AGRESTA, NORTH VALLEY BLDRS, INC., 17850 CONSTRUCTION WAY, REDDING, CA 96003. TRUSS DESIGNER / MFG.: TONY LOBUE, SYSTEMS PLUS LUMBER CO., 1800 S. BARNEY RD., ANDERSON, CA 96007.

ASSOCIATED SUBMITTALS

THE FOLLOWING PLAN REVIEWS OR ADDITIONAL PERMITS ARE REQUIRED:

- SITE PLOT MAP / SITE PLAN
• ENVIRONMENTAL HEALTH DEPARTMENT FOR SEPTIC SYSTEM WHERE EXISTING SEPTIC IS TO BE USED OR NEW SEPTIC IS TO BE INSTALLED
• FIRE DEPARTMENT PLOT-PLAN PRE-SUBMITTAL, REQ'D FOR THE FOLLOWING DISTRICTS: ANDERSON, BUCKEYE (COR RED), BURNEY, CASTELLA, COTTONWOOD, FALL RIVER MILLS, HAPPY VALLEY, MCARTHUR, MILLVILLE, MOUNTAIN GATE AND SHASTA LAKE FPD

DEFERRED SUBMITTALS

THE FOLLOWING SUBMITTALS WILL BE SUBMITTED AT A LATER DATE:

- FIRE SPRINKLERS (WHERE APPLICABLE)
• PHOTOVOLTAIC ARRAY - MIN 2.56 kWdc (CZ 11), 2.00 kWdc (CZ 16)

CONCEPTUAL DESIGN



DRAWINGS AND IMAGES ARE REPRESENTATIONAL AND ARE NOT PART OF CONTRACT DOCUMENTS

SHEET INDEX

GENERAL

- G1.1 TITLE SHEET
G2.1 ABBREVIATIONS & CODE ANALYSIS - CRC & CBC
G3.1 CODE ANALYSIS - CRC & WUI
G4.1 CODE ANALYSIS - CEC, CPC & CMC
G5.1 CODE ANALYSIS - CGBC

SITE PLAN

TO BE SUBMITTED BY OWNER W/ PERMIT APPLICATION

ARCHITECTURAL

- A1.1 DESIGN OPTIONS
A2.1 FLOOR PLAN
A3.1 RCP & ROOF PLAN
A4.1 EXTERIOR ELEVATIONS
A5.1 INTERIOR ELEVATIONS
A6.1 SECTIONS & EXTERIOR DETAILS
A7.1 INTERIOR DETAILS
A8.1 EXTERIOR DETAILS

STRUCTURAL - 50 PSF SNOW LOAD

- S1 STRUCTURAL NOTES
S2 FOUNDATION, ROOF, FRAMING & SHEAR WALL PLAN
S3 FOUNDATION & FRAMING DETAILS

STRUCTURAL - 70 PSF SNOW LOAD

- S1 STRUCTURAL NOTES
S2 FOUNDATION, ROOF, FRAMING & SHEAR WALL PLAN
S3 FOUNDATION & FRAMING DETAILS

PLUMBING

- P2.1 PLUMBING PLAN

ELECTRICAL

- E1.1 MECHANICAL & ELECTRICAL NOTES & LEGEND
E2.1 POWER & LIGHTING PLAN

SYMBOL LEGEND

NOTE: REFER TO INDIVIDUAL SHEETS FOR ADDITIONAL SYMBOLS AND LEGENDS

Legend symbols for section identification, elevation, interior elevation, detail section, enlarged plan or elevation, keynote, room name & number, ceiling height, wall tag, existing wall, demolition, new wall, and revision cloud/w/delta.

ENERGY REQUIREMENTS

FOR CLIMATE ZONE 11 LOCATIONS:

- FOUNDATION TYPE: SLAB ON GRADE, NO INSULATION
WALL INSULATION: R-23
ATTIC INSULATION: R-38
RADIANT BARRIER: YES
WINDOWS: 0.30 U-VALUE / 0.23 SHGC
FRENCH DOORS: 0.35 U-VALUE / 0.23 SHGC
HVAC: DUCTLESS MINI-SPLIT: 7.5 HSPF2 / 14.3 SEER2 / 9.8 EER2
WATER HEATER: HYBRID HEAT PUMP 3.1 UEF
SOLAR: 2.56 kWdc (MULTIPLE DIRECTIONS)

REQUIRED HERS VERIFICATIONS:

- INDOOR AIR QUALITY VENTILATION
• KITCHEN RANGE HOOD
• VERIFIED REFRIGERANT HOOD
• AIRFLOW INHABITABLE ROOMS (**SC3.1.4.1.7)
• VERIFIED HEAT PUMP RATED HEATING CAPACITY
• WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 SF (**SC3.4.5)
• DUCTLESS INDOOR UNITS LOCATED ENTIRELY IN CONDITIONED SPACE (**SC3.1.4.1.8)
• **VCHP COMPLIANCE OPTION

REQUIRED SPECIAL FEATURES:

- VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION
• NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER; SPECIFIC BRAND/MODEL, OR EQUIVALENT, MUST BE INSTALLED

FOR CLIMATE ZONE 16 LOCATIONS:

- FOUNDATION TYPE: SLAB ON GRADE, NO INSULATION
WALL INSULATION: R-23
ATTIC INSULATION: R-49 ABOVE CEILING + R-11 CAVITY BETWEEN TRUSSES
RADIANT BARRIER: YES
WINDOWS: 0.29 U-VALUE / 0.22 SHGC
FRENCH DOORS: 0.35 U-VALUE / 0.23 SHGC
HVAC: DUCTLESS MINI-SPLIT: 7.5 HSPF2 / 14.3 SEER2 / 9.8 EER2
WATER HEATER: HYBRID HEAT PUMP 3.1 UEF
SOLAR: 2.00 kWdc (MULTIPLE DIRECTIONS)

REQUIRED HERS VERIFICATIONS:

- INDOOR AIR QUALITY VENTILATION
• KITCHEN RANGE HOOD
• VERIFIED REFRIGERANT HOOD
• AIRFLOW INHABITABLE ROOMS (**SC3.1.4.1.7)
• VERIFIED HEAT PUMP RATED HEATING CAPACITY
• WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 SF (**SC3.4.5)
• DUCTLESS INDOOR UNITS LOCATED ENTIRELY IN CONDITIONED SPACE (**SC3.1.4.1.8)
• **VCHP COMPLIANCE OPTION

REQUIRED SPECIAL FEATURES:

- CEILING HAS HIGH LEVEL OF INSULATION
• INSULATION BELOW ROOF DECK
• VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION (VERIFICATION DETAILS FROM VCHP STAFF REPORT, APPENDIX B, AND RA3)
• NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER; SPECIFIC BRAND/MODEL, OR EQUIVALENT, MUST BE INSTALLED

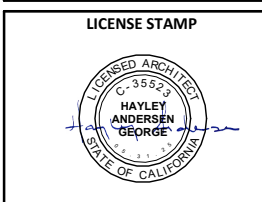
GENERAL NOTES

- A. APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. GC SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ALL ADDENDA AND CHANGE ORDERS.
B. THE GC SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS AND OWNER.
C. GC TO REFER TO THESE DOCUMENTS FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. ALL ITEMS NOT MARKED 'BY OWNER' OR 'N.I.C.' (NOT IN CONTRACT) ARE TO BE SUPPLIED BY GC UNLESS NOTED OTHERWISE, ALL ITEMS ARE TO BE INSTALLED BY GC.
D. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
E. BEFORE SUBMITTING A BID, THE GC SHALL VISIT THE PREMISES AND FAMILIARIZE HIM OR HER SELF WITH THE EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED TO COMPLETE THE PROJECT.
F. BEFORE CONSTRUCTION BEGINS, THE GC SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME.
G. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE GC MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
H. BEFORE CONSTRUCTION BEGINS ON A PORTION OF THE WORK, THE GC SHALL REQUEST FROM THE ARCHITECT, IN WRITING, ANY PROPOSED CHANGE ORDERS. ANY WORK CONSTRUCTED THAT DEVIATES FROM THE CONTRACT DOCUMENTS WITHOUT A CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE, OR ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS MAY BE REJECTED BY THE ARCHITECT OR INSPECTOR AND ALL EXPENSES ARE SOLELY THE GC'S RESPONSIBILITY.
I. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ENGINEERS, THE GC SHALL NOTIFY THE OWNER AND ARCHITECT.
J. GC SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, GC SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, GC SHALL NOTIFY OWNER AND ARCHITECT.
K. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. JOB SITE SAFETY, PROTECTION OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL SAFETY REGULATIONS ALONG WITH COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS THE GC'S RESPONSIBILITY.
L. GC SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
M. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF GYP BOARD UNLESS OTHERWISE NOTED.
N. OWNER SHALL PAY ALL TAXES, SECURE BUILDING PERMIT AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO BUILDING PERMITS, WATER, ELECTRIC AND TELEPHONE SERVICE CONNECTION, CERTIFICATE OF OCCUPANCY SURVEY AND INSPECTIONS.
O. SCOPE OF WORK: THE GC SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. GC SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO, ARCHITECTURAL, ELECTRICAL AND MECHANICAL.
P. THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCE SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.
Q. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE GC.
R. GUARANTEE: THE GC SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE GC SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS OR HER ATTENTION.
S. PROTECTION: THE GC SHALL BE RESPONSIBLE FOR HIS OR HER WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIAL USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS OR HER EMPLOYEES.
T. GC IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES PRIOR TO THE START OF CONSTRUCTION
U. THE TERM "GC" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.



PROJECT: SHASTA COUNTY PRE-APPROVED ADUS ADU 2 - CASTELLA MODERN

REVISIONS table with columns for DATE, DESCRIPTION, and REVISIONS.



CONSULTANT

AGENCY APPROVAL

COPYRIGHT © 2023
ONESHOP RETAINS ALL RIGHTS TO PROPRIETARY INFORMATION, INCLUDING, WITHOUT LIMITATION, METHODS AND METHODS OF ANALYSIS, IDEAS, CONCEPTS, ARRANGEMENTS, PLANS, EXPRESSIONS, KNOW HOW, METHODS, TECHNIQUES, SKILLS, KNOWLEDGE, AND EXPERIENCE POSSESSED BY ONESHOP PRIOR TO, OR ACQUIRED DURING THE DEVELOPMENT OF THIS PROJECT AND SHALL NOT BE RESTRICTED IN ANY WAY WITH RESPECT THERE TO.

PROJ ARCH: HMA
SET ISSUE DATE: 8/7/2023

TITLE SHEET
G1.1

OPTION 1

WUI COMPLIANT FIBER CEMENT LAP SIDING (HARDIE OR EQUAL)
COLOR BY OWNER



OPTION 2

CEMENT PLASTER FINISH - COLOR TO BE SELECTED BY OWNER
1-COAT WUI-COMPLIANT CEMENT PLASTER SYSTEM (STO POWERWALL OR EQUAL) O/ RIGID INSULATION
COLOR BY OWNER




OPTION 3

WUI COMPLIANT FIBER CEMENT PANELING (HARDIE OR EQUAL)
COLOR BY OWNER




NOT FOR CONSTRUCTION

Plot Date: 8/12/2023 4:43:12 PM
File Name: \\Oneshopserver\A\ONESHOP\Architecture\03_Current Projects\Shasta County ADU\09_BIM\SC_ADU_1_V2.rvt



www.oneshop.community

PROJECT




SHASTA COUNTY PRE-APPROVED
ADUS
ADU 2 - CASTELLA MODERN

REVISIONS

| DATE | NO. | DESCRIPTION |
|------|-----|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

LICENSE STAMP



CONSULTANT

AGENCY APPROVAL

COPYRIGHT © 2023
 ONESHOP RETAINS ALL RIGHTS TO PROPRIETARY INFORMATION, INCLUDING, WITHOUT LIMITATION, METHODOLOGIES AND METHODS OF ANALYSIS, IDEAS, CONCEPTS, ARRANGEMENTS, PLANS, EXPRESSIONS, KNOW HOW, METHODS, TECHNIQUES, SKILLS, KNOWLEDGE, AND EXPERIENCE POSSESSED BY ONESHOP PRIOR TO, OR ACQUIRED DURING THE DEVELOPMENT OF THIS PROJECT AND SHALL NOT BE RESTRICTED IN ANY WAY WITH RESPECT THERE TO.

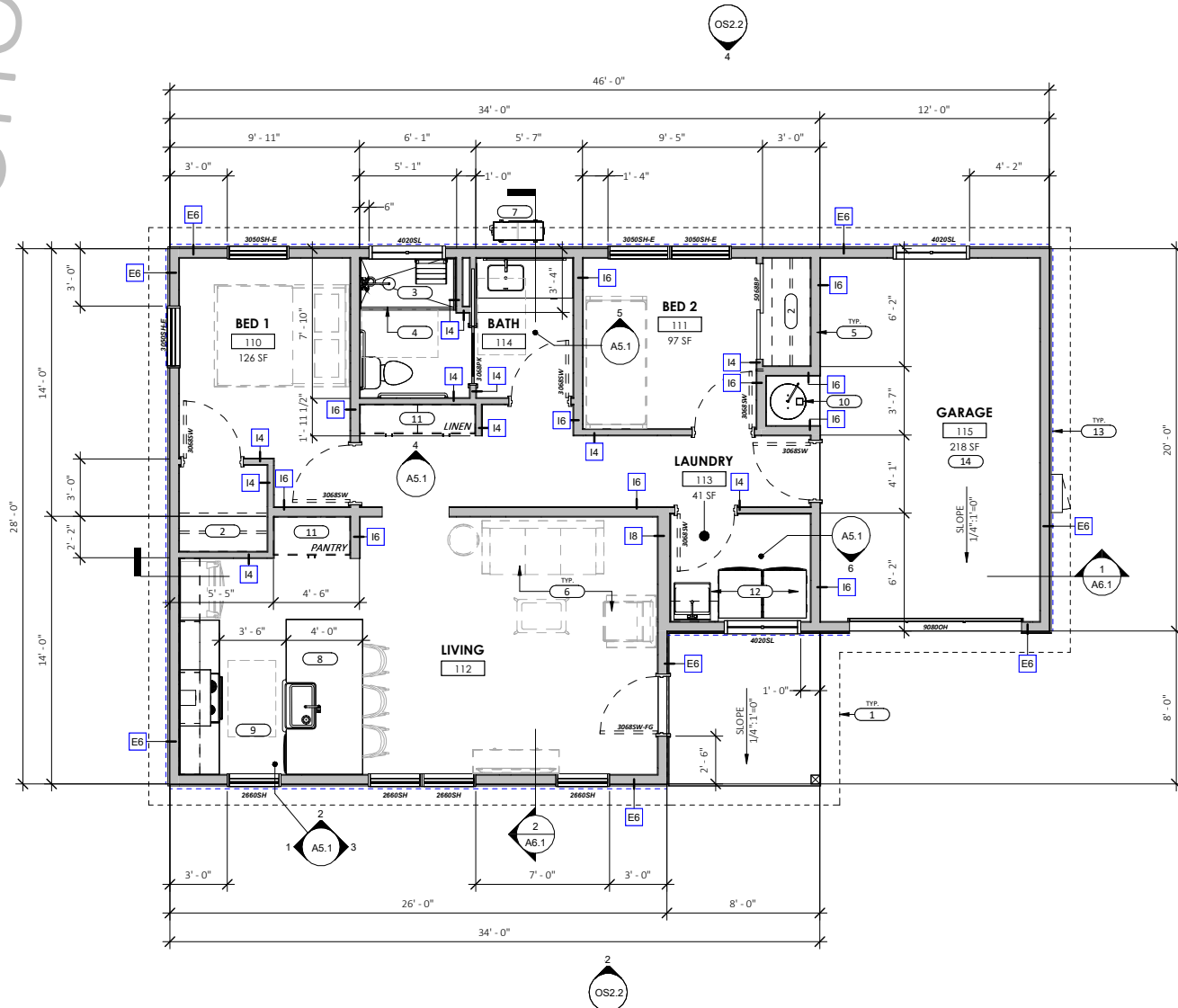
STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED IN CONTRACT WITH SHASTA COUNTY FOR DISTRIBUTION AND USE BY THE RESIDENTS OF SHASTA COUNTY WITH A SNOW LOAD OF 70 PSF OR LESS. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON PROJECTS OUTSIDE OF SHASTA COUNTY AND WITHOUT THE PERMISSION OF THE SHASTA COUNTY BUILDING DEPARTMENT IS NOT AUTHORIZED AND IS CONTRARY TO THE LAW.

PROJ ARCH : HMA
 SET ISSUE DATE: 8/7/2023

DESIGN OPTIONS

A1.1

NOT FOR CONSTRUCTION



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOOR AND FRAME SCHEDULE - ADU 2

| MARK | QTY | DOOR PANEL | | | | | DOOR FRAME | | | | | NOTES |
|-----------|-----|------------|----------|--------|------|--------------------|------------|----------|----------|--------|--|----------------------|
| | | TYPE | MATERIAL | FINISH | PAIR | NOMINAL DIMENSIONS | GLASS | TYPE | MATERIAL | FINISH | | |
| 3068PK | 1 | FLUSH | WD | PT | - | 3'-0" x 6'-8" | - | POCKET | WD | PT | | |
| 3068SW | 6 | FLUSH | WD | PT | - | 3'-0" x 6'-8" | - | SWING | WD | PT | | SOLID CORE AT GARAGE |
| 3068SW-FG | 1 | FULL GLASS | OO | FF | - | 3'-0" x 6'-8" | TEMP | SWING | OO | FF | | SOLID CORE |
| 5068BP | 1 | FLUSH | WD | PT | YES | 5'-0" x 8'-0" | - | BI-PASS | WD | PT | | |
| 9080OH | 1 | OO | OO | FF | - | 9'-0" x 7'-0" | TEMP | OVERHEAD | OO | FF | | |

WINDOW SCHEDULE - ADU 2

| # | QTY | WIDTH | HEIGHT | SILL HEIGHT | USED FOR EGRESS? | EGRESS AREA | TYPE | GLAZING TYPE | REMARKS |
|----------|-----|--------|--------|-------------|------------------|-------------|-------------|--------------|-----------------------------|
| 2660SH | 4 | 2'-6" | 5'-0" | 1'-6" | | | SINGLE-HUNG | TEMP | |
| 3050SH-E | 4 | 2'-11" | 5'-0" | 1'-0" | Yes | 7 SF | SINGLE-HUNG | TEMP | |
| 4020SL | 3 | 4'-0" | 2'-0" | 4'-6" | | | SLIDER | TEMP | SAFETY GLAZING @ SHOWER/TUB |

SHEET NOTES

- A. EGRESS WINDOWS TO BE 20" WIDE MIN., 24" HIGH MIN., 5.7 SQ FT MIN., AND 44" MAX. BETWEEN FINISH FLOOR AND FINISHED SILL HEIGHT.
- B. COORDINATE ALL FURNITURE, EQUIPMENT, CASEWORK LAYOUTS AND DESIGN W/ OWNER.
- C. RE: G2.1, G3.1, G4.1 AND G5.1 FOR ADDITIONAL APPLICABLE CODES
- D. RE: A7.1 AND A8.1 FOR WINDOW AND DOOR DETAILS
- E. EXTERIOR WINDOWS AND EXTERIOR DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:
 - A. BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION R308 SAFETY GLAZING, OR
 - B. BE CONSTRUCTED OF GLASS BLOCK, OR
 - C. HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR
 - D. BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2
- F. EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - A. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR
 - B. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF IGNITION-RESISTANCE MATERIAL, OR
 - C. THE EXTERIOR DOOR SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - STILES AND RAILS SHALL BE NOT LESS THAN 1 3/8" THICK.
 - PANELS SHALL NOT BE LESS THAN 1 1/4" THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO A TONGUE NOT LESS THAN 3/8" THICK.
 - D. THE EXTERIOR DOOR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252.
 - E. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF ASTM E2707.
 - F. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1
- G. EXTERIOR GARAGE DOORS SHALL BE PROVIDED WITH WEATHER STRIPPING TO RESIST THE INTRUSION OF EMBERS FROM ENTERING THROUGH GAPS BETWEEN DOORS AND DOOR OPENINGS WHEN VISIBLE GAPS EXCEED 1/8". WEATHER STRIPPING OR SEALS SHALL BE INSTALLED ON THE BOTTOM, SIDES AND TOPS OF DOORS TO REDUCE GAPS BETWEEN DOORS AND DOOR OPENINGS TO 1/8" OR LESS.
- H. PROVIDE RESIDENTIAL SPRINKLER SYSTEM WHERE (E) MAIN RESIDENCE IS EQUIPPED.
- I. FOR BATHROOM EXHAUST FANS, PROVIDE 50 CFM MIN AND 3 SONES MAXIMUM, WITH A 6" DUCT VENTED DIRECTLY THROUGH THE ROOF. SEE LIGHTING PLAN FOR LOCATION
- J. FOR THE KITCHEN EXHAUST HOOD, PROVIDE 100 CFM MINIMUM AND 3 SONES MAXIMUM, WITH 6" DUCT VENTED DIRECTLY THROUGH THE ROOF.
- K. A SHOWER COMPARTMENT SHALL HAVE A MINIMUM OF 6'-8" CEILING HEIGHT, SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. [CPC 408.6]

KEYNOTES

NOTE: NOT ALL KEYNOTES MAY BE USED

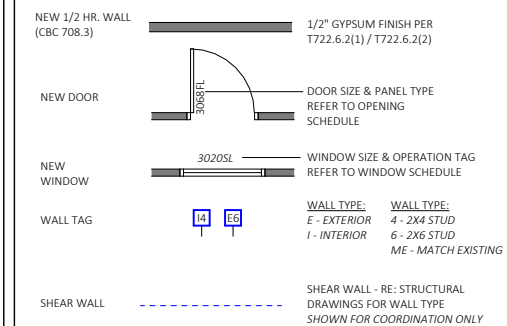
1. LINE OF ROOF OVERHANG ABOVE
2. CLOSET STORAGE VERIFY LAYOUT AND DESIGN W/ OWNER.
3. VERIFY SHOWER HEAD LOCATION W/ OWNER. INSTALL BLOCKING IN ALL WALLS FOR FUTURE GRAB BARS AND SHOWER SEAT INSTALLATION (SEE AGING IN PLACE NOTES)
4. RECESSED SLAB FOR ROLL-IN SHOWER - OWNER OPTION BETWEEN SHOWER AND TUB, CONTRACTOR TO VERIFY REQ'D DIMENSIONS
5. INSTALL ONE LAYER OF 1/2" GYP. BD. TO BOTH SIDES OF WALL FULL HEIGHT OF FRAMING AND WRAP TO CEILING PER CRC R302.6
6. FURNITURE PROVIDED BY OWNER
7. MECHANICAL UNIT, RE: ENERGY DOCUMENTS
8. KITCHEN ISLAND / PENINSULA
9. 30"x42" CLEAR SPACE FOR REFERENCE
10. HYBRID ELECTRIC TANK WATER HEATER - RE: ENERGY DOCUMENTS
11. BUILT-IN STORAGE CASEWORK
12. UTILITY CASEWORK AS SELECTED BY OWNER - VERIFY HEIGHT CLEARANCES AND TYPES WITH EQUIPMENT TO BE INSTALLED
13. SHEAR WALL - TYPICAL WHERE BLUE DASHED LINE SHOWN - RE: STRUCTURAL DRAWINGS FOR WALL TYPE, MAY VARY BY SNOW LOAD
14. SLOPE GARAGE FLOOR TO OPENING, 1/4":1'-0"

AGING IN PLACE NOTES

SEE 2022 CRC SECTION R327 FOR FULL REQUIREMENTS

- A. PROVIDE REINFORCEMENT OF NO LESS THAN 2X8 LUMBER BETWEEN 32" AND 39-1/4" ABOVE FINISHED FLOOR AT THE FOLLOWING LOCATIONS:
 - a. WATER CLOSET - AT EITHER BOTH SIDE WALLS, OR A SIDE WALL AND AN BACK WALL
 - b. SHOWER - CONTINUOUS AT ABOVE HEIGHTS
 - c. BATHTUB (OR TUB/SHOWER) - CONTINUOUS AT EACH END OF TUB AND AT THE BACK WALL
- B. RECORDS / DOCUMENTATION OF AREAS OF REINFORCEMENT SHALL BE MAINTAINED
- C. ALL NON-DEDICATED ELECTRICAL RECEPTACLES, SWITCHES, DOORBELLS AND CONTROLS SHALL BE LOCATED NO MORE THAN 48" TO TOP OF OUTLET BOX AND NOT LESS THAN 15" FROM BOTTOM OF OUTLET BOX A.F.F.
- D. AT LEAST (1) BATHROOM AND (1) BEDROOM ON ENTRY LEVEL (OR SECOND LEVEL WHERE NONE EXIST ON ENTRY LEVEL) SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32"

LEGEND



ABBREVIATIONS

| | | | |
|------|--------------------------|------|------------------|
| 3040 | 3'-0" WIDE BY 4'-0" HIGH | PC | PICTURE WINDOW |
| AW | AWNING WINDOW | PK | POCKET DOOR |
| BP | BI-PASS DOOR | PT | PAINT |
| DH | DOUBLE-HUNG | SC | SOLID CORE |
| (E) | EXISTING | SH | SINGLE-HUNG |
| FF | FACTORY FINISH | SL | SLIDER / SLIDING |
| FG | FULL GLASS | SW | SWING |
| FL | FLUSH PANEL | TBD | TO BE DETERMINED |
| HL | HALF LITE | TEMP | TEMPERED GLAZING |
| HM | HOLLOW METAL | WD | WOOD |
| MTL | METAL | | |
| OO | OWNER OPTION | | |



PROJECT



SHASTA COUNTY PRE-APPROVED ADUS

ADU 2 - CASTELLA MODERN

REVISIONS

| DATE | DESCRIPTION |
|---------|--------------|
| 8/29/23 | A SC Remarks |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

LICENSE STAMP



CONSULTANT

AGENCY APPROVAL

COPYRIGHT © 2023

ONESHOP RETAINS ALL RIGHTS TO PROPRIETARY INFORMATION, INCLUDING, WITHOUT LIMITATION, METHODOLOGIES AND METHODS OF ANALYSIS, IDEAS, CONCEPTS, ARRANGEMENTS, PLANS, SPECIFICATIONS, KNOW HOW, METHODS, TECHNIQUES, SKILLS, KNOWLEDGE, AND EXPERIENCE POSSESSED BY ONESHOP PRIOR TO, OR ACQUIRED DURING THE DEVELOPMENT OF THIS PROJECT AND SHALL NOT BE RESTRICTED IN ANY WAY WITH RESPECT THERE TO.

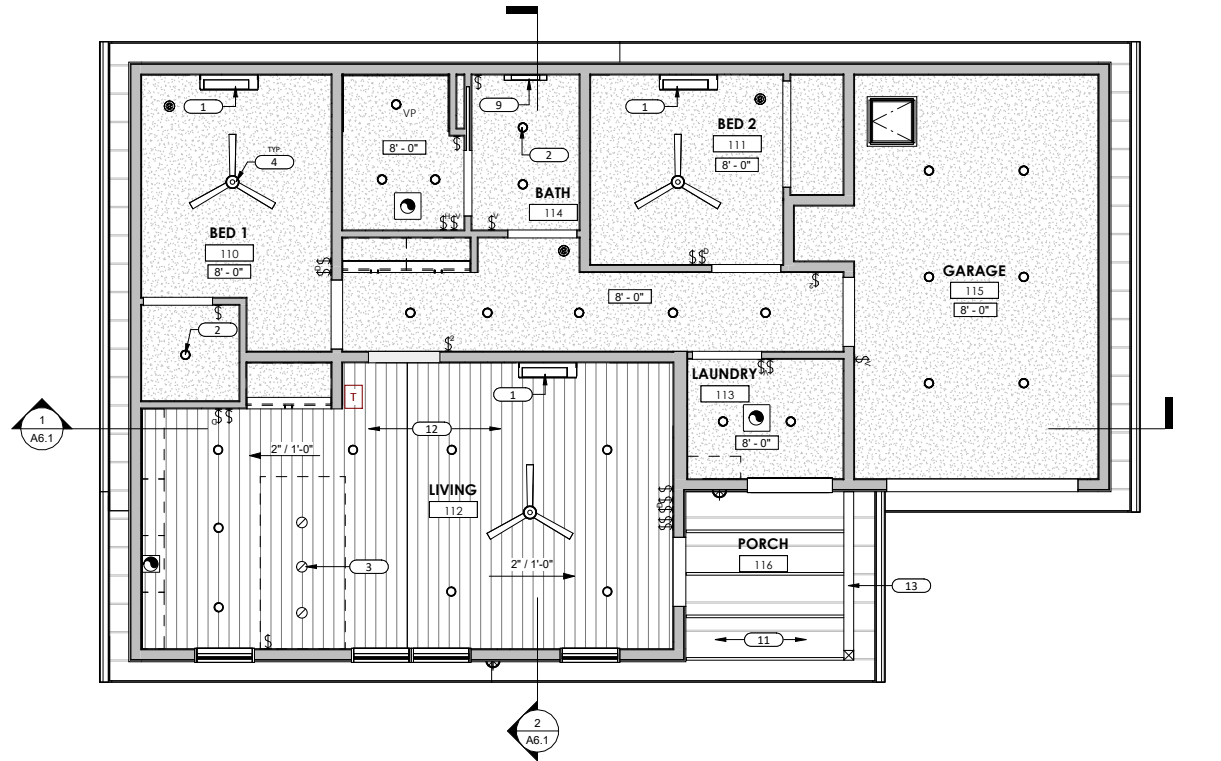
STIPULATION FOR REUSE: THIS DRAWING WAS PREPARED IN CONTRACT WITH SHASTA COUNTY FOR DISTRIBUTION AND USE BY THE RESIDENTS OF SHASTA COUNTY WITH A SNOW LOAD OF 70 PSF OR LESS. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF A LICENSED ARCHITECT AND ENGINEER. REPRODUCTION OF THIS DRAWING FOR REUSE ON PROJECTS OUTSIDE OF SHASTA COUNTY AND WITHOUT THE PERMISSION OF THE SHASTA COUNTY BUILDING DEPARTMENT IS NOT AUTHORIZED AND IS CONTRARY TO THE LAW.

PROJ ARCH: HMA
SET ISSUE DATE: 8/7/2023

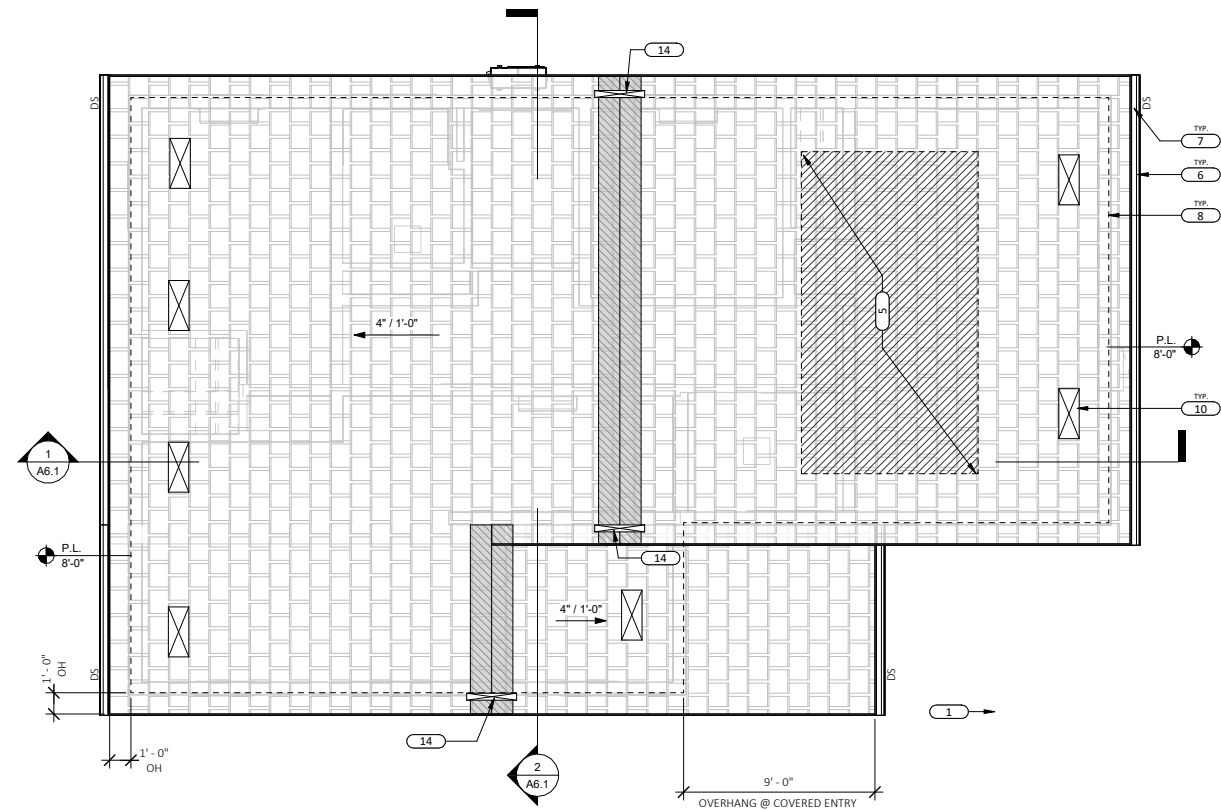
FLOOR PLAN

A2.1

NOT FOR CONSTRUCTION



1 REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



2 ROOF PLAN
 SCALE: 1/4" = 1'-0"

SHEET NOTES

- A. REFER TO STRUCTURAL SCHEDULES AND DETAILS ON STRUCTURAL SHEETS
- B. ALL ROOF OVERHANGS TO BE 1'-6" U.O.N.
- C. PLATE HEIGHTS ARE FROM FINISHED FLOOR AT MAIN HOUSE 0'-0"
- D. FACE OF SLAB TO ALIGN WITH FACE OF STUD
- E. STRUCTURE WILL BE BUILT ON SLOPES LESS THAN 33%
- F. SETBACKS TO SLOPES COMPLY WITH R403.1.7 AND ARE GREATER THAN H/3 OR 40' AT THE TOP OF A SLOPE OR H/2 OR 15' TO THE TOE OF A SLOPE
- G. SOILS REPORT TO BE REQUIRED IF ANY FILL OVER 12" IS USED OR IF ANY KNOWN SOILD CONDITIONS EXIST.
- H. ATTIC VENT, PER CRC SECTION 806.2 THE MIN. NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.
- I. PROVIDE CONTINUOUS 4" FASCIA GUTTERS WITH LEAF GUARDS.
- J. ROOF TO BE CONSTRUCTED PER CRC R902
- K. RE: G2.0, G3.0, G4.0 AND G5.0 FOR ADDITIONAL APPLICABLE CODES
- L. 6:12 SLOPE ASPHALT SHINGLE ROOFING. MANUFACTURER, MODEL, AND COLOR TO BE SELECTED BY OWNER. ROOFING TO BE CLASS 'A' RATED IN ALL W.U.I. LOCATIONS AND INSTALLED PER MFG'S SFM APPROVED DETAILS.
- M. VALLEY FLASHING SHALL BE NOT LESS THAN 0.019 IN NO 26 GA GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER ONE LAYER MINIMUM 72 LB MINERAL SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D 3909. SEE SHEET G5.0, SECTION R337.5 FOR ADDITIONAL WILDLAND URBAN INTERFACE CODE REQUIREMENTS.
- N. THE EXTERIOR WALL COVERING AND EXPOSED UNDERSIDE OF THE EAVE SHALL BE OF NON-COMBUSTIBLE OR IGNITION RESISTANT MATERIALS. SEE SHEET G5.0, SECTION R337.6.3 FOR ADDITIONAL WILDLAND URBAN INTERFACE CODE REQUIREMENTS.
- O. ROOF FRAMING TO BE PRE-FAB TRUSSES AT 24" O.C. TYP. TRUSS MFG TO PROVIDE TRUSS LAYOUT PLAN

ATTIC VENTILATION CALCS

AREA: CONDITIONED SPACE
 1450 SF (ATTIC AREA) / 150 = 9.7 SF REQ'D ATTIC VENTILATION (1,392 SQ IN)

PROVIDED RIDGE VENTING:
 (BRANGUARD OR EQUAL, 17 SQ IN NFVA/LF MIN.)
 > 31 LINEAR FT * 17 SQ IN
 > 527 SQ IN / 144 SQ IN PER SF
 > 3.7 SF

PROVIDED OFF-RIDGE VENTING TO MATCH ROOFING MATERIAL:
 (OTHAGIN FIRE & ICE OR EQUAL, 72 SQ IN NFVA MIN)
 > 7 UNITS * 72 SQ IN
 > 504 SQ IN / 144
 > 3.5 SF

PROVIDED GABLE VENTING:
 (BRANGUARD OR EQUAL, 127 SQ IN NFVA MIN)
 > 3 UNITS * 72 SQ IN
 > 381 SQ IN / 144
 > 2.7 SF

TOTAL AREA OF VENTILATION PROVIDED: **APPROX. 9.9 SF**

KEYNOTES

1. MINI-SPLIT MECHANICAL SYSTEM PER ENERGY DOCUMENTS, TYPICAL OF (3) HEAD UNITS
2. CENTER LIGHT(S) IN SPACE, TYPICAL
3. PENDANT LIGHT, TYP. OF (3), CENTER OVER ISLAND
4. CENTER CEILING FAN IN SPACE, TYPICAL
5. PHOTOVOLTAIC ARRAY - RE: ENERGY DOCUMENTS FOR SIZING AND ADJUST LOCATION FOR OPTIMAL SOLAR EXPOSURE PER SITE
6. 4" GUTTER W/ LEAF GUARD O/ 2X12 FASCIA BOARD
7. DOWNSPOUT, INDICATED BY 'D.S.', TYPICAL OF (4)
8. LINE OF WALL BELOW
9. VANITY LIGHT, CENTER OVER SINK
10. OFF-RIDGE VENT, LOCATION TO BE FINALIZED BY CONTRACTOR. VENTS TO BE SFM APPROVED AND EMBER RESISTANT PER HIGH FIRE SEVERITY HAZARD ZONE (WUI) REQUIREMENTS. TYPICAL OF (7)
11. EXTERIOR SOFFITTING TO BE WUI COMPLIANT FIBER CEMENT PANELING OR EQUAL
12. TONGUE AND GROOVE WOOD CEILING FINISH, OWNER'S OPTION
13. STRUCTURAL BEAM - RE: STRUCTURAL DRAWINGS
14. LOCATION OF GABLE VENT IN WALL BELOW. VENTS TO BE SFM APPROVED AND EMBER RESISTANT PER HIGH FIRE SEVERITY HAZARD ZONE (WUI) REQUIREMENTS TYPICAL OF (3)

STORM DRAINAGE NOTES
 (PER 2022 CPC)

60-MINUTE DURATION, 100-YEAR RETURN = 1.5 IN/H AND .016 GPM/SF
 ROOF AREA = 1,450 SF
 FLOW (GPM) = 1450 * .016 = 23.2 GPM
 4" PIPE = 12.6 SQ.IN.
 4" RECTANGLE GUTTER = 16 SQ.IN.

PER TABLE 1101.8
 4" HORIZONTAL PIPE: 78GPM; 1.5(IN/H) = 7,020 ALLOWABLE SF (4" GUTTER OK)

PER TABLE 1101.12
 2" VERTICAL LEADER: 30GPM; 1.5(IN/H) = 2700 SF / LEADER

1450SF/2700SF = 1 LEADER REQ'D
 4 PROVIDED FOR (3) SEPARATE GUTTER RUNS

1. USE 1 LEADER OR (1) EVERY 50' MAX OF GUTTER LENGTH WHICH EVER IS GREATER
2. SLOPE GUTTER 1/8" PER FOOT TOWARDS DOWNSPOUTS
3. DOWNSPOUTS (ABBREVIATED AS "DS") SHOWN ON PLAN FOR APPROXIMATE LOCATIONS

LEGEND

- WALL SCONCE
- 6" RECESSED CAN LIGHT
WEATHER-PROOF WHEN SHOWN @ PATIOS
VAPOR-PROOF IN BATHROOM LOCATIONS
- UNDERCABINET LIGHTING
- SWITCH
- COMBINATION SMOKE / CARBON MONOXIDE DETECTOR
TO BE HARDWIRED AND INTERCONNECTED
- PENDANT LIGHT FIXTURE
- CEILING FAN WITH LIGHT
- WUI COMPLIANT TONGUE & GROOVE SOFFIT
- GYP. BD. CEILING
- 30" x 30" (MIN.) ATTIC ACCESS HATCH PER 2022 CRC 807.1
- EXHAUST FAN - SHALL BE LISTED AT 3 SONES OR LESS FOR NOISE AND RATED BASED ON W.C. OF 0.25 OR GREATER



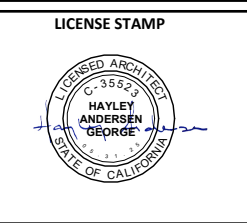
PROJECT

SHASTA COUNTY PRE-APPROVED ADUS

ADU 2 - CASTELLA MODERN

REVISIONS

| DATE | DESCRIPTION |
|------|-------------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |



CONSULTANT

AGENCY APPROVAL

COPYRIGHT © 2023

ONESHOP RETAINS ALL RIGHTS TO PROPRIETARY INFORMATION, INCLUDING, WITHOUT LIMITATION, METHODOLOGIES AND METHODS OF ANALYSIS, IDEAS, CONCEPTS, ARRANGEMENTS, PLANS, EXPRESSIONS, KNOW HOW, METHODS, TECHNIQUES, SKILLS, KNOWLEDGE, AND EXPERIENCE POSSESSED BY ONESHOP PRIOR TO, OR ACQUIRED DURING THE DEVELOPMENT OF THIS PROJECT AND SHALL NOT BE RESTRICTED IN ANY WAY WITH RESPECT THERE TO.

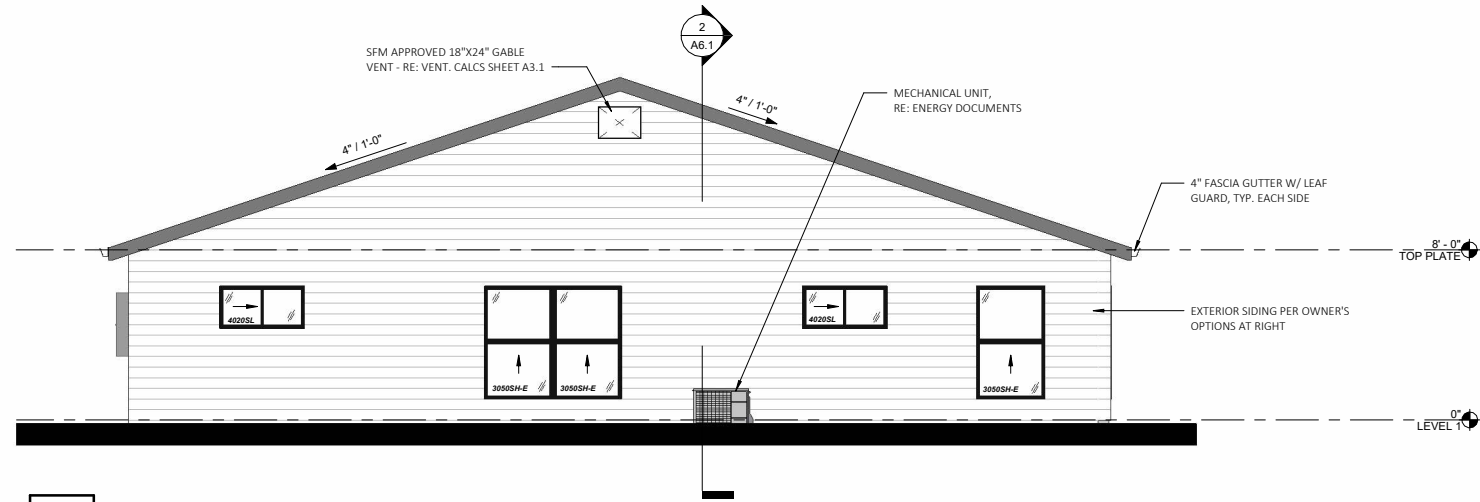
STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED IN CONTRACT WITH SHASTA COUNTY FOR DISTRIBUTION AND USE BY THE RESIDENTS OF SHASTA COUNTY WITH A SNOW LOAD OF 70 PSF OR LESS. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF A PROFESSIONAL ARCHITECT AND ENGINEER. REPRODUCTION OF THIS DRAWING FOR REUSE ON PROJECTS OUTSIDE OF SHASTA COUNTY AND WITHOUT THE PERMISSION OF THE SHASTA COUNTY BUILDING DEPARTMENT IS NOT AUTHORIZED AND IS CONTRARY TO THE LAW.

PROJ ARCH: HMA
 SET ISSUE DATE: 8/7/2023

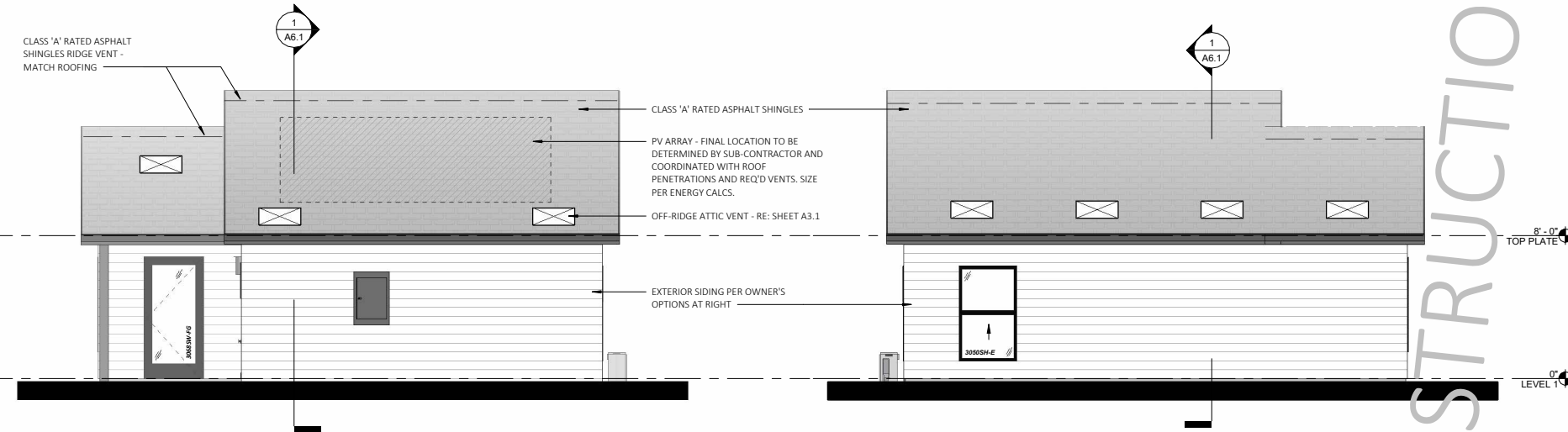
RCP & ROOF PLAN

A3.1

Plot Date: 8/7/2023 4:46:14 PM
 File Name: \\Oneshopserver\one\CONSHOP\Architecture\03_Current Projects\Shasta County ADU\09_BIM\SC_ADU_1_V2.rvt

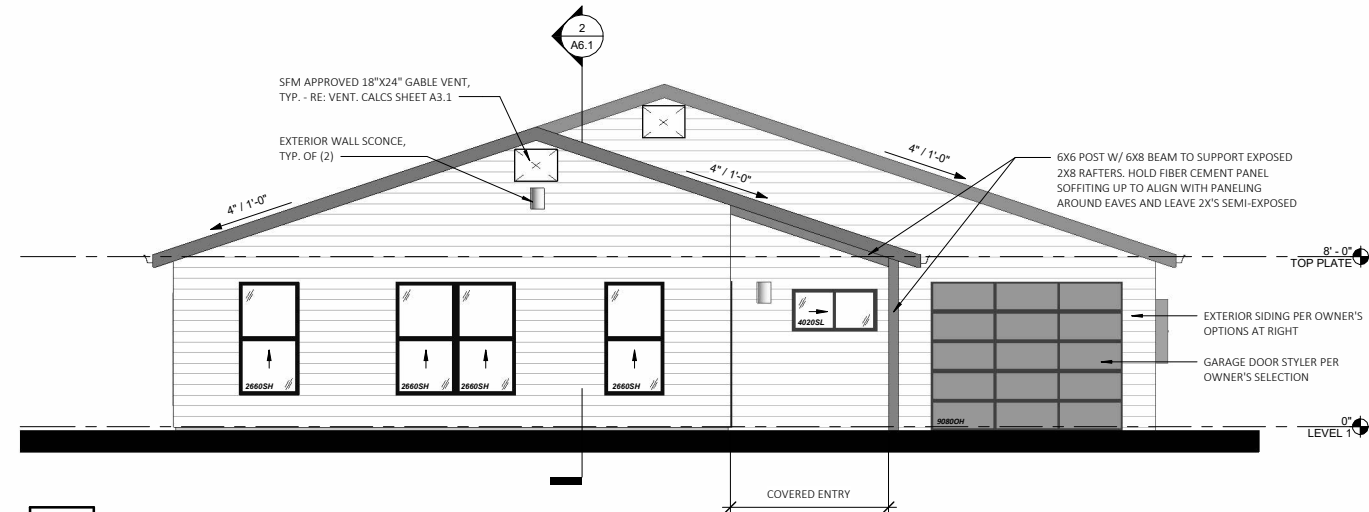


1 PLAN NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PLAN EAST ELEVATION
SCALE: 1/4" = 1'-0"

3 PLAN WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 PLAN SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

SHEET NOTES

- A. EGRESS WINDOWS TO BE 20" WIDE MIN., 24" HIGH MIN., 5.7 SQ FT MIN., AND 44" MAX. BETWEEN FINISH FLOOR AND FINISHED SILL HEIGHT.
- B. RE: G2.0, G3.0 AND G4.0 FOR ADDITIONAL APPLICABLE CODES
- C. RE: A7.1 & A8.1 FOR WINDOW AND DOOR DETAILS
- D. EXTERIOR WINDOWS AND EXTERIOR DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:
 - A. BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION R308 SAFETY GLAZING, OR
 - B. BE CONSTRUCTED OF GLASS BLOCK, OR
 - C. HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR
 - D. BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2
- E. EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - A. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR
 - B. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF IGNITION-RESISTANCE MATERIAL, OR
 - C. THE EXTERIOR DOOR SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - STILES AND RAILS SHALL BE NOT LESS THAN 1 3/8" THICK.
 - PANELS SHALL NOT BE LESS THAN 1 1/4" THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO A TONGUE NOT LESS THAN 3/8" THICK.
 - D. THE EXTERIOR DOOR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252.
 - E. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF ASTM E2707.
 - F. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1
- F. EXTERIOR GARAGE DOORS SHALL BE PROVIDED WITH WEATHER STRIPPING TO RESIST THE INTRUSION OF EMBERS FROM ENTERING THROUGH GAPS BETWEEN DOORS AND DOOR OPENINGS WHEN VISIBLE GAPS EXCEED 1/8". WEATHER STRIPPING OR SEALS SHALL BE INSTALLED ON THE BOTTOM, SIDES AND TOPS OF DOORS TO REDUCE GAPS BETWEEN DOORS AND DOOR OPENINGS TO 1/8" OR LESS.

EXTERIOR SIDING OPTIONS

- OPTION 1: (SHOWN IN ELEVATIONS IN DARK COLORWAY)**
WUI COMPLIANT FIBER CEMENT LAP SIDING (HARDIE OR EQUAL)
- OPTION 2:**
CEMENT PLASTER FINISH - COLOR TO BE SELECTED BY OWNER
1-COAT WUI-COMPLIANT CEMENT PLASTER SYSTEM (STO POWERWALL OR EQUAL) O/ RIGID INSULATION
- OPTION 3:**
WUI COMPLIANT FIBER CEMENT PANELING (HARDIE OR EQUAL)



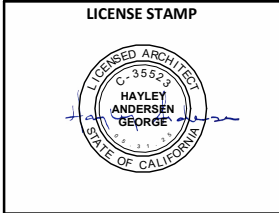
PROJECT

SHASTA COUNTY PRE-APPROVED
ADUS

ADU 2 - CASTELLA MODERN

REVISIONS

| DATE | DESCRIPTION |
|------|-------------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |



CONSULTANT

AGENCY APPROVAL

COPYRIGHT © 2023
 ONESHOP RETAINS ALL RIGHTS TO PROPRIETARY INFORMATION, INCLUDING, WITHOUT LIMITATION, METHODOLOGIES AND METHODS OF ANALYSIS, IDEAS, CONCEPTS, ARRANGEMENTS, PLANS, EXPRESSIONS, KNOW HOW, METHODS, TECHNIQUES, SKILLS, KNOWLEDGE, AND EXPERIENCE POSSESSED BY ONESHOP PRIOR TO, OR ACQUIRED DURING THE DEVELOPMENT OF THIS PROJECT AND SHALL NOT BE RESTRICTED IN ANY WAY WITH RESPECT THERE TO.

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED IN CONTRACT WITH SHASTA COUNTY FOR DISTRIBUTION AND USE BY THE RESIDENTS OF SHASTA COUNTY WITH A KNOWN LOAD OF 70 PSF OR LESS. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON PROJECTS OUTSIDE OF SHASTA COUNTY AND WITHOUT THE PERMISSION OF THE SHASTA COUNTY BUILDING DEPARTMENT IS NOT AUTHORIZED AND IS CONTRARY TO THE LAW.

PROJ ARCH : HMA
 SET ISSUE DATE: 8/7/2023

EXTERIOR ELEVATIONS

A4.1

NOT FOR CONSTRUCTION



www.oneshop.community

PROJECT



SHASTA COUNTY PRE-APPROVED ADUS

ADU 2 - CASTELLA MODERN

REVISIONS

| DATE | BY | DESCRIPTION |
|---------|----|-------------|
| 8/29/23 | A | SC Remarks |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

LICENSE STAMP



CONSULTANT

AGENCY APPROVAL

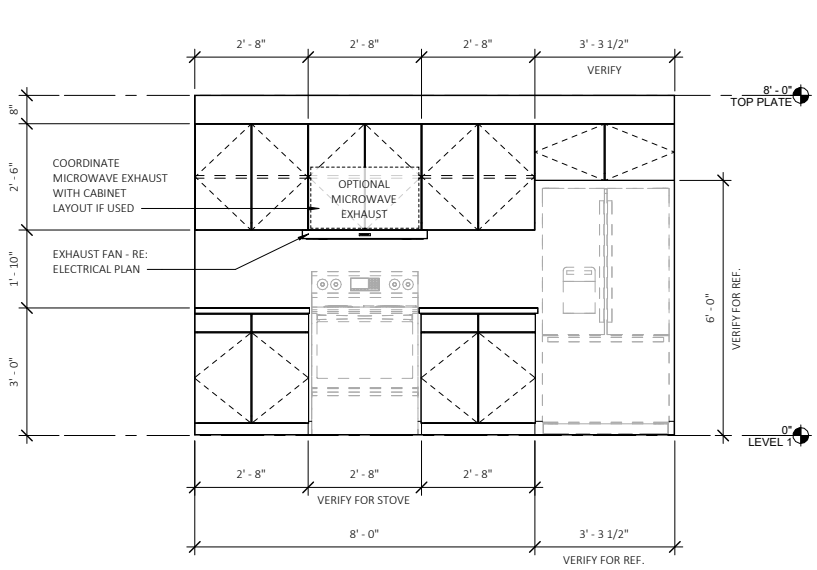
COPYRIGHT © 2023
 ONESHOP RETAINS ALL RIGHTS TO PROPRIETARY INFORMATION, INCLUDING, WITHOUT LIMITATION, METHODOLOGIES AND METHODS OF ANALYSIS, IDEAS, CONCEPTS, ARRANGEMENTS, PLANS, EXPRESSIONS, KNOW HOW, METHODS, TECHNIQUES, SKILLS, KNOWLEDGE, AND EXPERIENCE POSSESSED BY ONESHOP PRIOR TO, OR ACQUIRED DURING THE DEVELOPMENT OF THIS PROJECT AND SHALL NOT BE RESTRICTED IN ANY WAY WITH RESPECT THERE TO.

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED IN CONTRACT WITH SHASTA COUNTY FOR DISTRIBUTION AND USE BY THE RESIDENTS OF SHASTA COUNTY WITH A KNOWN LOAD OF 70 PSF OR LESS. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON PROJECTS OUTSIDE OF SHASTA COUNTY AND WITHOUT THE PERMISSION OF THE SHASTA COUNTY BUILDING DEPARTMENT IS NOT AUTHORIZED AND IS CONTRARY TO THE LAW.

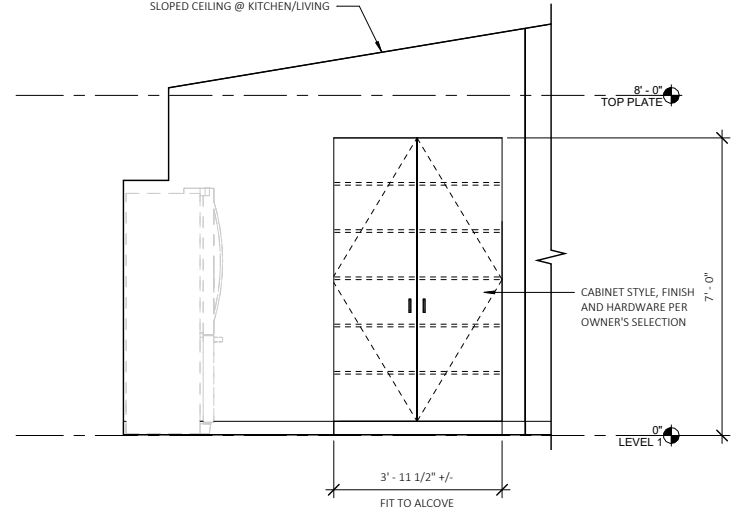
PROJ ARCH : HMA
 SET ISSUE DATE: 8/7/2023

INTERIOR ELEVATIONS

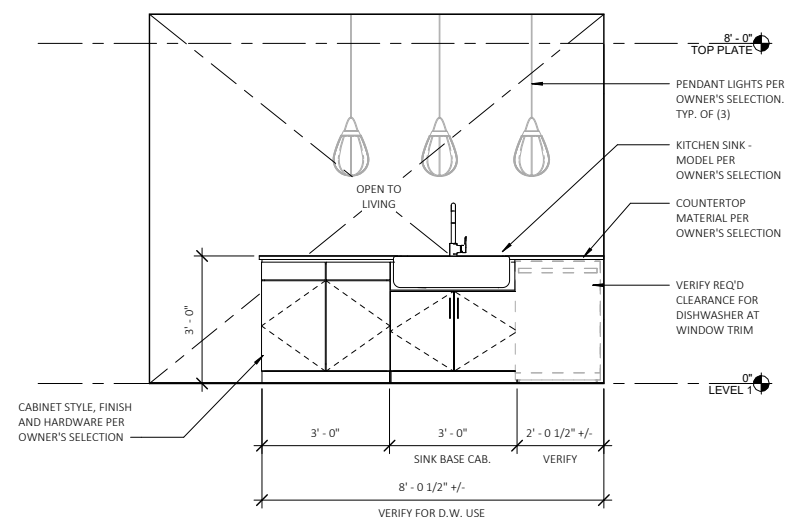
A5.1



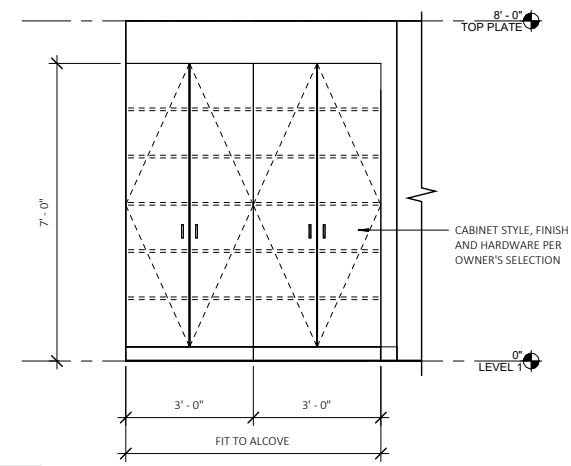
1 KITCHEN CABINET ELEVATION (WEST)
 SCALE: 1/2" = 1'-0"



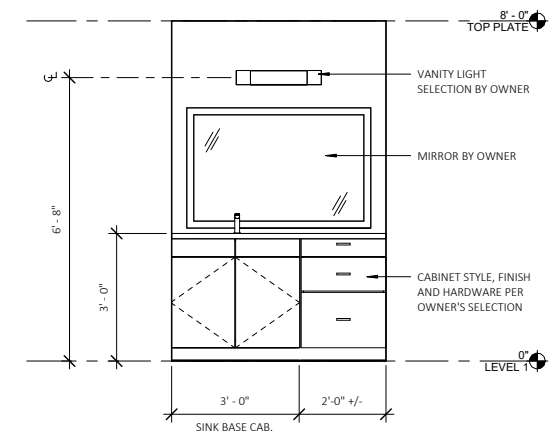
2 KITCHEN PANTRY CABINET ELEVATION (NORTH)
 SCALE: 1/2" = 1'-0"



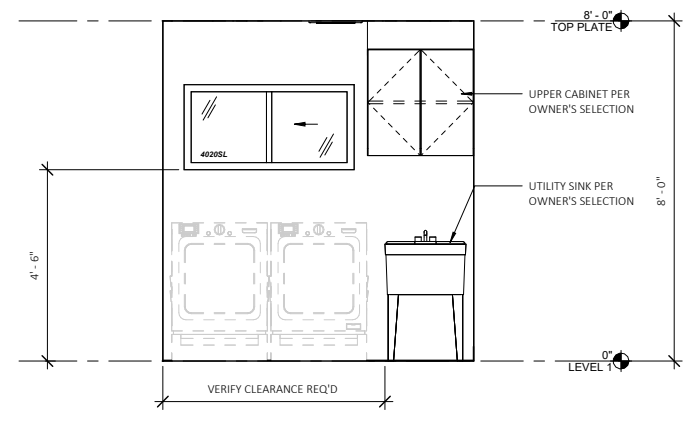
3 KITCHEN PENINSULA CABINET ELEVATION (EAST)
 SCALE: 1/2" = 1'-0"



4 HALL CABINET ELEVATION
 SCALE: 1/2" = 1'-0"



5 BATHROOM CABINET ELEVATION
 SCALE: 1/2" = 1'-0"



6 LAUNDRY ROOM ELEVATION
 SCALE: 1/2" = 1'-0"

NOT FOR CONSTRUCTION

Plot Date: 8/12/2023 4:44:37 PM
 File Name: \\oneshopserver\one\ONESHOP\Architecture\03_Current Projects\Shasta County ADU\09_BIM\SC ADU 1_V2.rvt