

CODE ANALYSIS

Table with 2 columns: Building Codes and corresponding code references (e.g., 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA MECHANICAL CODE (CMC), etc.)

Table with 2 columns: Building Code Analysis and details (e.g., OCCUPANCY GROUP: R-3, CONSTRUCTION TYPE: TYPE V-B, SEISMIC DESIGN CRITERIA: D, etc.)

Table with 2 columns: Land Use Analysis and details (e.g., ASSESSOR'S PARCEL #: VARIES, LAND USE ZONING CLASS: VARIES, etc.)

Table with 2 columns: Suite / Space Analysis and details (e.g., TOTAL BUILDING AREA: 624 SF, AREA OF SCOPE OF WORK: 1,080 SF, etc.)

Table with 2 columns: Code Applicability for Alterations and details (e.g., CAL GREEN: REFER TO NOTES ON SHEET GS.0, CAL ENERGY CODE: REFER TO NOTES ON SHEET E1.0 AND ADDITIONAL ENERGY DOCUMENTS WITH SUBMITTAL PACKAGE)

FIRE SPRINKLER NOTE (WHERE REQ'D): INSPECTIONS BY THE AHJ OF THE SPRINKLER SYSTEM, INCLUDING A ROUGH INSPECTION AT FRAME INSPECTION AND A FINAL INSPECTION SHALL BE COMPLETED AND APPROVED PRIOR TO REQUESTING THE CORRESPONDING BUILDING INSPECTION

PROJECT DESCRIPTION

A NEW 624 SF ONE-BEDROOM ACCESSORY DWELLING UNIT WITH FULL KITCHEN, BATHROOM DESIGNED FOR AGING IN PLACE, LIVING AREA AND LAUNDRY SPACE. THE ADU IS DESIGNED TO HAVE AN OPTIONAL GARAGE, AS WELL AS A COVERED ENTRY AND A COVERED PATIO TO MAXIMIZE USE IN OUR CLIMATE ZONES.

EXTERIOR FINISHES ARE SHOWN AS A WUI-COMPLIANT FIBER CEMENT PANELING FOR THE BUDGET OPTION IN THE COST ESTIMATE, OTHER SIDING OPTIONS SHOWN ARE CEMENT PLASTER OR FIBER CEMENT LAP SIDING.

PROJECT TEAM

Table listing Owner (Shasta County Resource Mgmt Dept), Architect (Hayley Andersen George Oneshop), Structural Engineer (Sean Hummer), Energy (Tony Reger), Cost Estimator (Chris Agresta), and Truss Designer / Mfg. (Tony Lobue).

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Table listing Cost Estimator (Chris Agresta) and Truss Designer / Mfg. (Tony Lobue).

ASSOCIATED SUBMITTALS

THE FOLLOWING PLAN REVIEWS OR ADDITIONAL PERMITS ARE REQUIRED:

- SITE PLOT PLAN / SITE PLAN
• ENVIRONMENTAL HEALTH DEPARTMENT FOR SEPTIC SYSTEM WHERE EXISTING SEPTIC IS TO BE USED OR NEW SEPTIC IS TO BE INSTALLED
• FIRE DEPARTMENT PLOT-PLAN PRE-SUBMITTAL, REQ'D FOR THE FOLLOWING DISTRICTS: ANDERSON, BUCKEYE (COR RFD), BURNEY, CASTELLA, COTTONWOOD, FALL RIVER MILLS, HAPPY VALLEY, MCARTHUR, MILLVILLE, MOUNTAIN GATE AND SHASTA LAKE FPD

DEFERRED SUBMITTALS

THE FOLLOWING SUBMITTALS WILL BE SUBMITTED AT A LATER DATE:

- FIRE SPRINKLERS (WHERE APPLICABLE)
• PHOTOVOLTAIC ARRAY - MIN 2.12 kWdc (CZ 11), 1.72 kWdc (CZ16)

CONCEPTUAL DESIGN



DRAWINGS AND IMAGES ARE REPRESENTATIONAL AND ARE NOT PART OF CONTRACT DOCUMENTS

SHEET INDEX

GENERAL

Table listing general sheet information: G1.0 TITLE SHEET, G2.0 ABBREVIATIONS & CODE ANALYSIS - CRC & CBC, G3.0 CODE ANALYSIS - CRC & WUI, G4.0 CODE ANALYSIS - CEC, CPC & CMC, G5.0 CODE ANALYSIS - CGBC

SITE PLAN

TO BE SUBMITTED BY OWNER W/ PERMIT APPLICATION

ARCHITECTURAL

Table listing architectural sheets: A1.0 DESIGN OPTIONS, A2.0 FLOOR PLAN, A3.0 RCP & ROOF PLAN, A4.0 INTERIOR & EXTERIOR ELEVATIONS, A6.0 SECTIONS & EXTERIOR DETAILS, A7.0 INTERIOR DETAILS, A8.0 EXTERIOR DETAILS

STRUCTURAL - 50 PSF SNOW LOAD

Table listing structural sheets for 50 PSF snow load: S1 STRUCTURAL NOTES, S2 FOUNDATION, ROOF, FRAMING & SHEAR WALL PLAN, S3 FOUNDATION & FRAMING DETAILS

STRUCTURAL - 70 PSF SNOW LOAD

Table listing structural sheets for 70 PSF snow load: S1 STRUCTURAL NOTES, S2 FOUNDATION, ROOF, FRAMING & SHEAR WALL PLAN, S3 FOUNDATION & FRAMING DETAILS

PLUMBING

Table listing plumbing sheet: P2.0 PLUMBING PLAN

ELECTRICAL

Table listing electrical sheets: E1.0 MECHANICAL & ELECTRICAL NOTES & LEGEND, E2.0 POWER & LIGHTING PLAN

SYMBOL LEGEND

NOTE: REFER TO INDIVIDUAL SHEETS FOR ADDITIONAL SYMBOLS AND LEGENDS

Table defining symbols for section identification, elevation, interior elevation, detail section, enlarged plan or elevation, keynote, room name & number, ceiling height, wall tag, existing wall, demolition, new wall, and revision cloud/w/delta.

ENERGY REQUIREMENTS

FOR CLIMATE ZONE 11 LOCATIONS:

Table listing energy requirements for Climate Zone 11: FOUNDATION TYPE: SLAB ON GRADE, NO INSULATION; WALL INSULATION: R-23; ATTIC INSULATION: R-38; RADIANT BARRIER: YES; WINDOWS: 0.30 U-VALUE / 0.23 SHGC; HVAC: DUCTLESS MINI-SPLIT: 7.5 HSPF2 / 14.3 SEER2 / 9.8 EER2; WATER HEATER: HYBRID HEAT PUMP 3.1 UEF; SOLAR: 2.12 kWDC (MULTIPLE DIRECTIONS)

REQUIRED HERS VERIFICATIONS:

- INDOOR AIR QUALITY VENTILATION
• KITCHEN RANGE HOOD
• VERIFIED REFRIGERANT HOOD
• AIRFLOW INHABITABLE ROOMS (**SC3.1.4.1.7)
• VERIFIED HEAT PUMP RATED HEATING CAPACITY
• WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 SF (**SC3.4.5)
• DUCTLESS INDOOR UNITS LOCATED ENTIRELY IN CONDITIONED SPACE (**SC3.1.4.1.8)
• **VCHP COMPLIANCE OPTION

REQUIRED SPECIAL FEATURES:

- VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION
• NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER; SPECIFIC BRAND/MODEL, OR EQUIVALENT, MUST BE INSTALLED

FOR CLIMATE ZONE 16 LOCATIONS:

Table listing energy requirements for Climate Zone 16: FOUNDATION TYPE: SLAB ON GRADE, NO INSULATION; WALL INSULATION: R-23; ATTIC INSULATION: R-38 ABOVE CEILING + R-4 ABOVE ROOF DECK; RADIANT BARRIER: YES; WINDOWS: 0.30 U-VALUE / 0.23 SHGC; HVAC: DUCTLESS MINI-SPLIT: 7.5 HSPF2 / 14.3 SEER2 / 9.8 EER2; WATER HEATER: HYBRID HEAT PUMP 3.1 UEF; SOLAR: 1.72 kWDC (MULTIPLE DIRECTIONS); ERV IAQ FAN: 53 CFM / 29 WATTS / 81 SRE / 84 ASRE

REQUIRED HERS VERIFICATIONS:

- INDOOR AIR QUALITY VENTILATION
• KITCHEN RANGE HOOD
• VERIFIED REFRIGERANT HOOD
• AIRFLOW INHABITABLE ROOMS (**SC3.1.4.1.7)
• VERIFIED HEAT PUMP RATED HEATING CAPACITY
• WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 SF (**SC3.4.5)
• DUCTLESS INDOOR UNITS LOCATED ENTIRELY IN CONDITIONED SPACE (**SC3.1.4.1.8)
• **VCHP COMPLIANCE OPTION

REQUIRED SPECIAL FEATURES:

- INDOOR AIR QUALITY, BALANCED FAN
• IAQ VENTILATION SYSTEM: AS LOW AS 0.54717 W/CFM
• IAQ VENTILATION SYSTEM HEAT RECOVERY: MINIMUM 81 SRE AND 84 ASRE
• IAQ VENTILATION SYSTEM: SUPPLY OUTSIDE AIR INLET, FILTER, AND H/ERV CORES ACCESSIBLE PER RACM REFERENCE MANUAL
• INSULATION ABOVE ROOF DECK
• VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION
• NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER; SPECIFIC BRAND/MODEL, OR EQUIVALENT, MUST BE INSTALLED

NOTE: HEATING AND COOLING LOADS SHOWN IN THESE CALCULATIONS ARE BASED ON CEC DEFAULT ASSUMPTIONS AND SHOULD NOT BE USED FOR EQUIPMENT SIZING, SELECTION OR DESIGN. FOLLOW ACCA OR ASHRAE DESIGN STANDARDS AND COMPLETE A ROOM-BY-ROOM LOAD CALCULATION BASED ON ACTUAL DESIGN CONDITIONS FOR EQUIPMENT SIZING, SELECTION AND SYSTEM DESIGN.

GENERAL NOTES

- A. APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. GC SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ALL ADDENDA AND CHANGE ORDERS.
B. THE GC SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS AND OWNER.
C. GC TO REFER TO THESE DOCUMENTS FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. ALL ITEMS NOT MARKED 'BY OWNER' OR 'N.I.C.' (NOT IN CONTRACT) ARE TO BE SUPPLIED BY GC. UNLESS NOTED OTHERWISE, ALL ITEMS ARE TO BE INSTALLED BY GC.
D. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
E. BEFORE SUBMITTING A BID, THE GC SHALL VISIT THE PREMISES AND FAMILIARIZE HIM OR HER SELF WITH THE EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED TO COMPLETE THE PROJECT.
F. BEFORE CONSTRUCTION BEGINS, THE GC SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME.
G. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE GC MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
H. BEFORE CONSTRUCTION BEGINS ON A PORTION OF THE WORK, THE GC SHALL REQUEST FROM THE ARCHITECT, IN WRITING, ANY PROPOSED CHANGE ORDERS. ANY WORK CONSTRUCTED THAT DEVIATES FROM THE CONTRACT DOCUMENTS WITHOUT A CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE, OR ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS MAY BE REJECTED BY THE ARCHITECT OR INSPECTOR AND ALL EXPENSES ARE SOLELY THE GC'S RESPONSIBILITY.
I. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ENGINEERS, THE GC SHALL NOTIFY THE OWNER AND ARCHITECT.
J. GC SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, GC SHALL NOTIFY OWNER AND ARCHITECT.
K. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. JOB SITE SAFETY, PROTECTION OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL SAFETY REGULATIONS ALONG WITH COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS THE GC'S RESPONSIBILITY.
L. GC SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
M. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF GYP BOARD UNLESS OTHERWISE NOTED.
N. OWNER SHALL PAY ALL TAXES, SECURE BUILDING PERMIT AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO BUILDING PERMITS, WATER, ELECTRIC AND TELEPHONE SERVICE CONNECTION, CERTIFICATE OF OCCUPANCY SURVEYS AND INSPECTIONS.
O. SCOPE OF WORK: THE GC SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. GC SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO, ARCHITECTURAL, ELECTRICAL AND MECHANICAL.
P. THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCE SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.
Q. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE GC.
R. GUARANTEE: THE GC SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE GC SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS OR HER ATTENTION.
S. PROTECTION: THE GC SHALL BE RESPONSIBLE FOR HIS OR HER WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIAL USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS OR HER EMPLOYEES.
T. GC IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES PRIOR TO THE START OF CONSTRUCTION
U. THE TERM "GC" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.



PROJECT

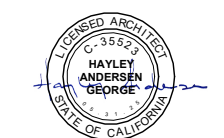


SHASTA COUNTY PRE-APPROVED ADUS
ADU 1 - PACIFIC CREST COTTAGE

REVISIONS

Table for tracking revisions with columns for Date, Description, and Remarks.

LICENSE STAMP



CONSULTANT

AGENCY APPROVAL

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STIPULATION FOR REUSE

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PROJ ARCH: HMA
SET ISSUE DATE: 8/7/2023

TITLE SHEET

G1.0

OPTION 1

WUI COMPLIANT FIBER CEMENT LAP SIDING (HARDIE OR EQUAL)
COLOR BY OWNER



OPTION 2

CEMENT PLASTER FINISH - COLOR TO BE SELECTED BY OWNER
1-COAT WUI-COMPLIANT CEMENT PLASTER SYSTEM (STO POWERWALL OR EQUAL) O/ RIGID INSULATION
COLOR BY OWNER



OPTION 3

WUI COMPLIANT FIBER CEMENT PANELING (HARDIE OR EQUAL)
COLOR BY OWNER



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PROJECT

SHASTA COUNTY PRE-APPROVED
ADUS
ADU 1 - PACIFIC CREST COTTAGE

REVISIONS

DATE	DESCRIPTION

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PROJ ARCH : HMA
SET ISSUE DATE: 8/7/2023

DESIGN OPTIONS
A1.0



NOT FOR
CONSTRUCTION

ALTERNATE RENDERINGS

WHAT THE ADU WOULD LOOK LIKE WITHOUT THE GARAGE. SHOWN WITH WUI COMPLIANT FIBER CEMENT LAP SIDING (HARDIE OR EQUAL)



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PROJECT



SHASTA COUNTY PRE-APPROVED
ADUS

ADU 1 - PACIFIC CREST COTTAGE

REVISIONS

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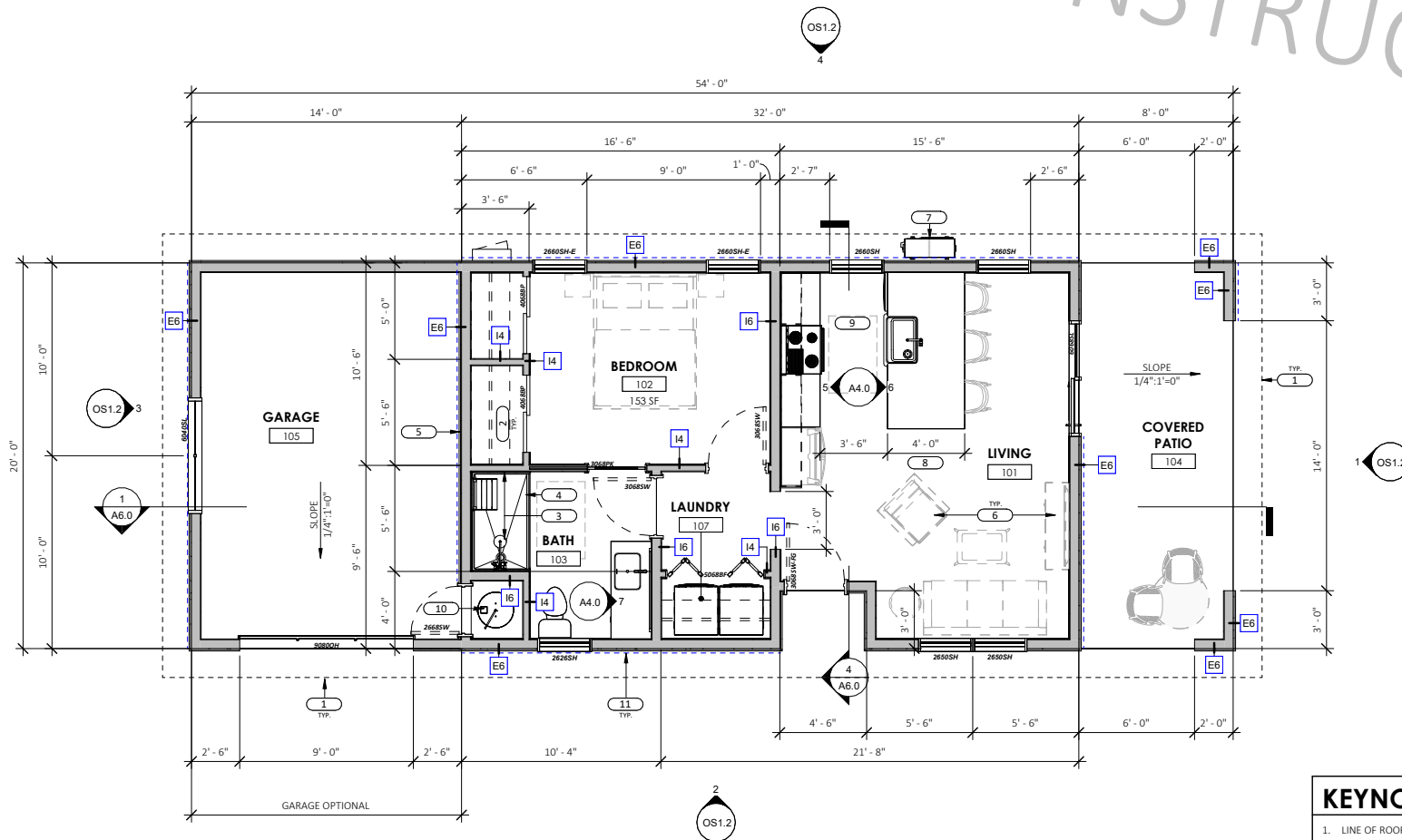
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STIPULATION FOR REUSE
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PROJ ARCH : HMA
SET ISSUE DATE: 8/7/2023

ALTERNATE RENDERINGS - NO GARAGE
A1.0A

NOT FOR CONSTRUCTION



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET NOTES

- A. EGRESS WINDOWS TO BE 20" WIDE MIN., 24" HIGH MIN., 5.7 SQ FT MIN., AND 44" MAX. BETWEEN FINISH FLOOR AND FINISHED SILL HEIGHT.
- B. COORDINATE ALL FURNITURE, EQUIPMENT, CASEWORK LAYOUTS AND DESIGN W/ OWNER.
- C. RE: G2.0, G3.0 AND G4.0 FOR ADDITIONAL APPLICABLE CODES
- D. RE: A6.0 FOR WINDOW AND DOOR DETAILS
- E. EXTERIOR WINDOWS AND EXTERIOR DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:
 - A. BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION R308 SAFETY GLAZING, OR
 - B. BE CONSTRUCTED OF GLASS BLOCK, OR
 - C. HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR
 - D. BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2
- F. EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - A. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR
 - B. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF IGNITION-RESISTANCE MATERIAL, OR
 - C. THE EXTERIOR DOOR SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - STILES AND RAILS SHALL BE NOT LESS THAN 1 3/8" THICK.
 - PANELS SHALL NOT BE LESS THAN 1 1/4" THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO A TONGUE NOT LESS THAN 3/8" THICK.
 - D. THE EXTERIOR DOOR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252.
 - E. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF ASTM E2707.
 - F. THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1
- G. EXTERIOR GARAGE DOORS SHALL BE PROVIDED WITH WEATHER STRIPPING TO RESIST THE INTRUSION OF EMBERS FROM ENTERING THROUGH GAPS BETWEEN DOORS AND DOOR OPENINGS WHEN VISIBLE GAPS EXCEED 1/8". WEATHER STRIPPING OR SEALS SHALL BE INSTALLED ON THE BOTTOM, SIDES AND TOPS OF DOORS TO REDUCE GAPS BETWEEN DOORS AND DOOR OPENINGS TO 1/8" OR LESS.
- H. PROVIDE RESIDENTIAL SPRINKLER SYSTEM WHERE (E) MAIN RESIDENCE IS EQUIPPED.
- I. FOR BATHROOM EXHAUST FANS, PROVIDE 50 CFM MIN AND 3 SONES MAXIMUM, WITH A 6" DUCT VENTED DIRECTLY THROUGH THE ROOF. SEE LIGHTING PLAN FOR LOCATION
- J. FOR THE KITCHEN EXHAUST HOOD, PROVIDE 100 CFM MINIMUM AND 3 SONES MAXIMUM, WITH 6" DUCT VENTED DIRECTLY THROUGH THE ROOF.
- K. A SHOWER COMPARTMENT SHALL HAVE A MINIMUM OF 6'-8" CEILING HEIGHT, SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. [CPC 408.6]

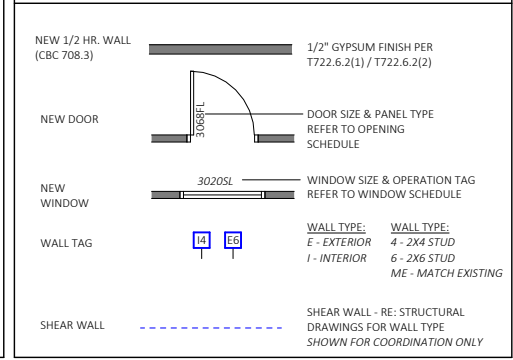
AGING IN PLACE NOTES

- SEE 2022 CRC SECTION R327 FOR FULL REQUIREMENTS
- A. PROVIDE REINFORCEMENT OF NO LESS THAN 2X8 LUMBER BETWEEN 32" AND 39-1/4" ABOVE FINISHED FLOOR AT THE FOLLOWING LOCATIONS:
 - a. WATER CLOSET - AT EITHER BOTH SIDE WALLS, OR A SIDE WALL AND AN BACK WALL
 - b. SHOWER - CONTINUOUS AT ABOVE HEIGHTS
 - c. BATHTUB (OR TUB/SHOWER) - CONTINUOUS AT EACH END OF TUB AND AT THE BACK WALL
- B. RECORDS / DOCUMENTATION OF AREAS OF REINFORCEMENT SHALL BE MAINTAINED
- C. ALL NON-DEDICATED ELECTRICAL RECEPTACLES, SWITCHES, DOORBELLS AND CONTROLS SHALL BE LOCATED NO MORE THAN 48" TO TOP OF OUTLET BOX AND NOT LESS THAN 15" FROM BOTTOM OF OUTLET BOX A.F.F.
- D. AT LEAST (1) BATHROOM AND (1) BEDROOM ON ENTRY LEVEL (OR SECOND LEVEL WHERE NONE EXIST ON ENTRY LEVEL) SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32"

KEYNOTES

- NOTE: NOT ALL KEYNOTES MAY BE USED
1. LINE OF ROOF OVERHANG ABOVE
 2. CLOSET STORAGE VERIFY LAYOUT AND DESIGN W/ OWNER.
 3. VERIFY SHOWER HEAD LOCATION W/ OWNER. INSTALL BLOCKING IN ALL WALLS FOR FUTURE GRAB BARS AND SHOWER SEAT INSTALLATION (SEE AGING IN PLACE NOTES)
 4. RECESSED SLAB FOR ROLL-IN SHOWER - OWNER OPTION BETWEEN SHOWER AND TUB, CONTRACTOR TO VERIFY REQ'D DIMENSIONS
 5. INSTALL ONE LAYER OF 1/2" GYP. BD. TO BOTH SIDES OF WALL FULL HEIGHT OF FRAMING AND WRAP TO CEILING PER CRC R302.6. IF GARAGE OPTION IS TO BE USED, WHERE NO GARAGE CONSTRUCTED, WRAP WITH EXTERIOR SIDING.
 6. FURNITURE PROVIDED BY OWNER
 7. MECHANICAL UNIT, RE: ENERGY DOCUMENTS
 8. KITCHEN ISLAND / PENINSULA
 9. 30"x42" CLEAR SPACE FOR REFERENCE
 10. HYBRID ELECTRIC TANK WATER HEATER - RE: ENERGY DOCUMENTS
 11. SHEAR WALL - TYPICAL WHERE BLUE DASHED LINE SHOWN - RE: STRUCTURAL DRAWINGS FOR WALL TYPE, MAY VARY BY SNOW LOAD

LEGEND



ABBREVIATIONS

3040	AW	3'-0" WIDE BY 4'-0" HIGH AWNING WINDOW	PC	PICTURE WINDOW
BP	BP	BI-PASS DOOR	PK	POCKET DOOR
DH	DH	DOUBLE-HUNG	PT	PAINT
(E)	(E)	EXISTING	SC	SOLID CORE
FF	FF	FACTORY FINISH	SH	SINGLE-HUNG
FG	FG	FULL GLASS	SL	SLIDER / SLIDING
FL	FL	FLUSH PANEL	SW	SWING
HL	HL	HALF LITE	TBD	TO BE DETERMINED
HM	HM	HOLLOW METAL	TEMP	TEMPERED GLAZING
MTL	MTL	METAL	WD	WOOD
OO	OO	OWNER OPTION		

DOOR AND FRAME SCHEDULE - ADU 1

MARK	QTY	DOOR PANEL					DOOR FRAME			NOTES	
		TYPE	MATERIAL	FINISH	PAIR	NOMINAL DIMENSIONS W H	GLASS	TYPE	MATERIAL		FINISH
2668SW	1	FLUSH	WD	PT	-	2'-6" 7'-0"		SWING	WD	PT	SOLID CORE
3068PK	1	FLUSH	WD	PT	-	3'-0" 6'-8"		POCKET	WD	PT	
3068SW	2	FLUSH	WD	PT	-	3'-0" 6'-8"		SWING	WD	PT	
3068SW-FG	1	OO	OO	FF	-	3'-0" 6'-8"	TEMP	SWING	OO	FF	SOLID CORE
4068BP	2	FLUSH	WD	PT	YES	4'-0" 7'-0"		BI-PASS	WD	PT	
5068BF	1	FLUSH	WD	PT	YES	5'-0" 7'-0"		BI-FOLD	WD	PT	
6068SL	1	FULL GLASS	OO	FF	-	6'-0" 6'-10"	TEMP	SLIDER	OO	FF	
9080OH	1	OO	OO	FF	-	9'-0" 7'-0"	TEMP	OVERHEAD	OO	FF	PER GARAGE OPTION

WINDOW SCHEDULE - ADU 1

#	QTY.	WIDTH	HEIGHT	SILL HEIGHT	USED FOR EGRESS?	EGRESS AREA	TYPE	GLAZING TYPE	REMARKS
2626SH	1	2'-6"	2'-6"	4'-0"			SINGLE-HUNG	TEMP	
2650SH	2	2'-6"	5'-0"	1'-6"			SINGLE-HUNG	TEMP	
2660SH	2	2'-6"	6'-0"	0'-6"			SINGLE-HUNG	TEMP	
2660SH-E	2	2'-6"	6'-0"	0'-6"	Yes	7.2 SF	SINGLE-HUNG	TEMP	
6040SL	1	6'-0"	4'-0"	3'-0"			SLIDER	TEMP	PER GARAGE OPTION



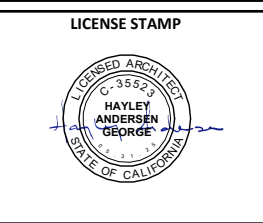
PROJECT

SHASTA COUNTY PRE-APPROVED ADUS

ADU 1 - PACIFIC CREST COTTAGE

REVISIONS

DATE	DESCRIPTION
8/29/23	A SC Remarks
9/11/23	B SC Remarks



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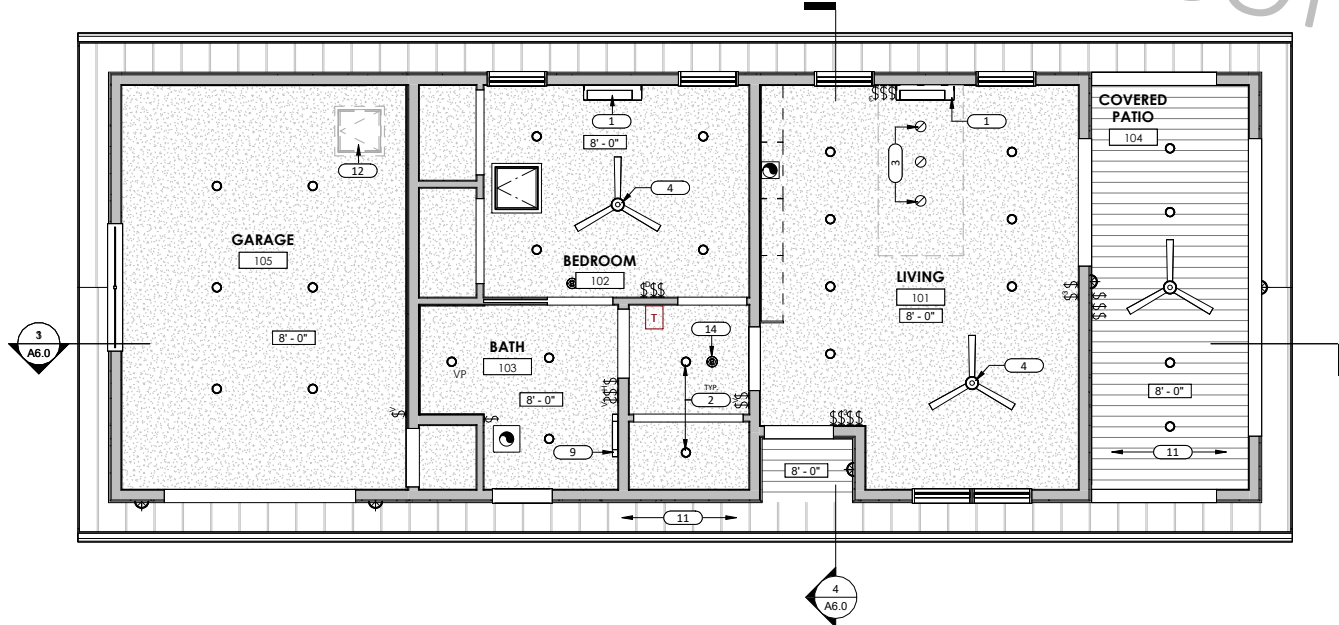
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FLOOR PLAN

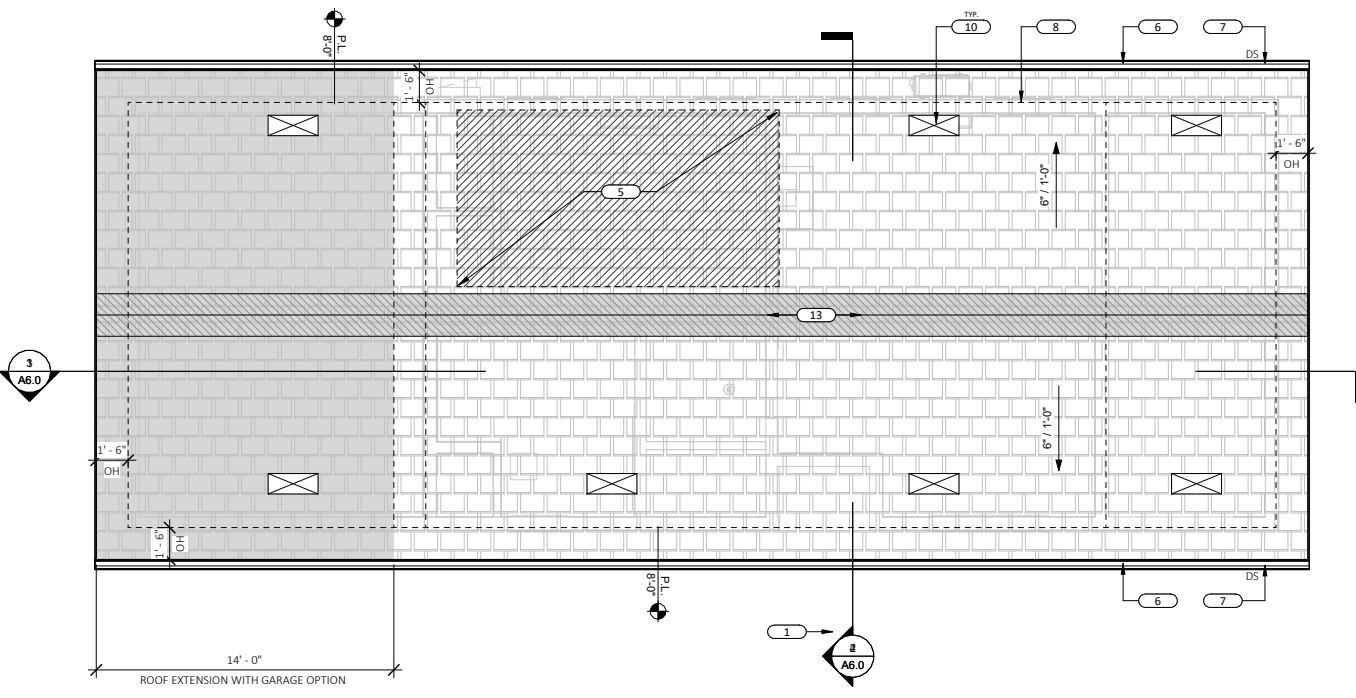
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1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



2 ROOF PLAN
SCALE: 1/4" = 1'-0"

SHEET NOTES

- A. REFER TO STRUCTURAL SCHEDULES AND DETAILS ON STRUCTURAL SHEETS
- B. ALL ROOF OVERHANGS TO BE 1'-6" U.O.N.
- C. PLATE HEIGHTS ARE FROM FINISHED FLOOR AT MAIN HOUSE 0'-0"
- D. FACE OF SLAB TO ALIGN WITH FACE OF STUD
- E. STRUCTURE WILL BE BUILT ON SLOPES LESS THAN 33%
- F. SETBACKS TO SLOPES COMPLY WITH R403.1.7 AND ARE GREATER THAN H/3 OR 40' AT THE TOP OF A SLOPE OR H/2 OR 15' TO THE TOE OF A SLOPE
- G. SOILS REPORT TO BE REQUIRED IF ANY FILL OVER 12" IS USED OR IF ANY KNOWN SOIL CONDITIONS EXIST.
- H. ATTIC VENT, PER CRC SECTION 806.2 THE MIN. NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.
- I. PROVIDE CONTINUOUS 4" FASCIA GUTTERS WITH LEAF GUARDS.
- J. ROOF TO BE CONSTRUCTED PER CRC R902
- K. RE: G2.0, G3.0, G4.0 AND G5.0 FOR ADDITIONAL APPLICABLE CODES
- L. 6:12 SLOPE ASPHALT SHINGLE ROOFING. MANUFACTURER, MODEL, AND COLOR TO BE SELECTED BY OWNER. ROOFING TO BE CLASS 'A' RATED IN ALL W.U.I. LOCATIONS AND INSTALLED PER MFG'S SFM APPROVED DETAILS.
- M. THE EXTERIOR WALL COVERING AND EXPOSED UNDERSIDE OF THE EAVE SHALL BE OF NON-COMBUSTIBLE OR IGNITION RESISTANT MATERIALS. SEE SHEET G5.0, SECTION R337.6.3 FOR ADDITIONAL WILDLAND URBAN INTERFACE CODE REQUIREMENTS.
- N. ROOF FRAMING TO BE PRE-FAB TRUSSES AT 24" O.C. TYP. TRUSS MFG TO PROVIDE TRUSS LAYOUT PLAN

ATTIC VENTILATION CALCS

AREA: CONDITIONED SPACE
1466 SF (ATTIC AREA) / 150 = 9.8 SF REQ'D ATTIC VENTILATION (1,411 SQ IN)

PROVIDED RIDGE VENTING:
(BRANGUARD OR EQUAL, 17 SQ IN NFVA/LF MIN.)
> 57 LINEAR FT * 17 SQ IN
> 969 SQ IN / 144 SQ IN PER SF
> 6.7 SF

PROVIDED OFF-RIDGE VENTING TO MATCH ROOFING MATERIAL:
(O'HAGIN FIRE & ICE OR EQUAL, 72 SQ IN NFVA MIN)
> 7 UNITS * 72 SQ IN
> 504 SQ IN / 144
> 3.5 SF

TOTAL AREA OF VENTILATION PROVIDED: **APPROX. 10.2 SF**

KEYNOTES

1. MINI-SPLIT MECHANICAL SYSTEM PER ENERGY DOCUMENTS, TYPICAL OF (2) HEAD UNITS
2. CENTER LIGHTS IN SPACE, TYPICAL
3. PENDANT LIGHT, TYP. OF (3), CENTER OVER ISLAND
4. CENTER CEILING FAN IN SPACE, TYPICAL
5. PHOTOVOLTAIC ARRAY - RE: ENERGY DOCUMENTS FOR SIZING AND ADJUST LOCATION FOR OPTIMAL SOLAR EXPOSURE PER SITE
6. 4" GUTTER W/ LEAF GUARD O/ 2X FASCIA BOARD
7. DOWNSPOUT, TYP. WHERE 'D.S.' SHOWN
8. LINE OF WALL BELOW
9. VANITY LIGHT, CENTER OVER SINK
10. OFF-RIDGE VENT. LOCATION TO BE FINALIZED BY CONTRACTOR AS ALLOWED WITH PV ARRAY. VENTS TO BE SFM APPROVED AND EMBER RESISTANT PER HIGH FIRE SEVERITY HAZARD ZONE (WUI) REQUIREMENTS. TYPICAL OF (7). INSTALL IN LOWER 1/3 OF ROOF.
11. EXTERIOR SOFFITTING TO BE WUI COMPLIANT FIBER CEMENT PANELING - HARDIE OR EQUAL.
12. ALTERNATE ATTIC ACCESS HATCH IF GARAGE IS BUILT
13. SFM APPROVED RIDGE VENT W/ CLASS A ROOFING TO MATCH REST OF ROOF
14. COMBINATION SMOKE/CARBON DIOXIDE ALARM (HARDWIRED & INTERCONNECTED WITH OTHERS) TO BE PHOTO-ELECTRIC TYPE OR OTHERWISE LISTED FOR RESISTANCE TO COMMON COOKING SMOKE.

STORM DRAINAGE NOTES

(PER 2022 CPC)
60-MINUTE DURATION, 100-YEAR RETURN = 1.5 IN/H AND .016 GPM/SF
ROOF AREA = 1,466 SF
FLOW (GPM) = 1466 * .016 = 23.5 GPM
4" PIPE = 12.6 SQ.IN.
4" RECTANGLE GUTTER = 16 SQ.IN.

PER TABLE 1101.8
4" HORIZONTAL PIPE: 78GPM; 1.5(IN/H) = 7,020 ALLOWABLE SF (4" GUTTER OK)

PER TABLE 1101.12
2" VERTICAL LEADER: 30GPM; 1.5(IN/H) = 2700 SF / LEADER

1466SF/2700SF = 1 LEADER REQ'D
2 PROVIDED FOR (2) SEPARATE GUTTER RUNS

1. USE 1 LEADER OR (1) EVERY 50' MAX OF GUTTER LENGTH WHICH EVER IS GREATER
2. SLOPE GUTTER 1/8" PER FOOT TOWARDS DOWNSPOUTS
3. DOWNSPOUTS (ABBREVIATED AS "DS") SHOWN ON PLAN FOR APPROXIMATE LOCATIONS

LEGEND

- NOT ALL MAY BE USED
- WALL SCONCE
 - 6" RECESSED CAN LIGHT WEATHER-PROOF WHEN SHOWN @ PATIOS VAPOR-PROOF IN BATHROOM LOCATIONS
 - UNDERCABINET LIGHTING
 - SWITCH
 - COMBINATION SMOKE / CARBON MONOXIDE DETECTOR **TO BE HARDWIRED AND INTERCONNECTED**
 - PENDANT LIGHT FIXTURE
 - CEILING FAN WITH LIGHT
 - WUI COMPLIANT EXTERIOR CEILING: NOMINAL 2X T&G WOOD OR WUI COMPLIANT FIBER CEMENT PANELING OR PLANKS
 - GYP. BD. CEILING
 - 30" x 30" (MIN.) ATTIC ACCESS HATCH PER 2022 CRC 807.1
 - EXHAUST FAN - SHALL BE LISTED AT 3 SONES OR LESS FOR NOISE AND RATED BASED ON W.C. OF 0.25 OR GREATER



PROJECT

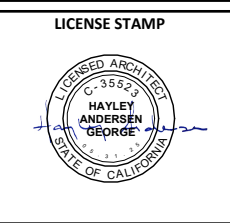
COUNTY OF SHASTA
CALIFORNIA

SHASTA COUNTY PRE-APPROVED
ADUS

ADU 1 - PACIFIC CREST COTTAGE

REVISIONS

DATE	DESCRIPTION
8/29/23	A SC Remarks



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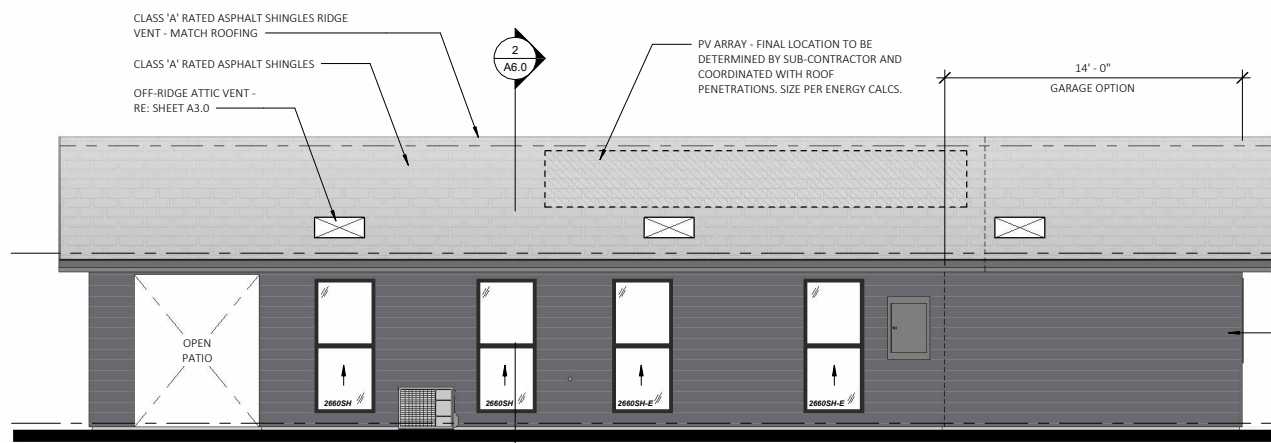
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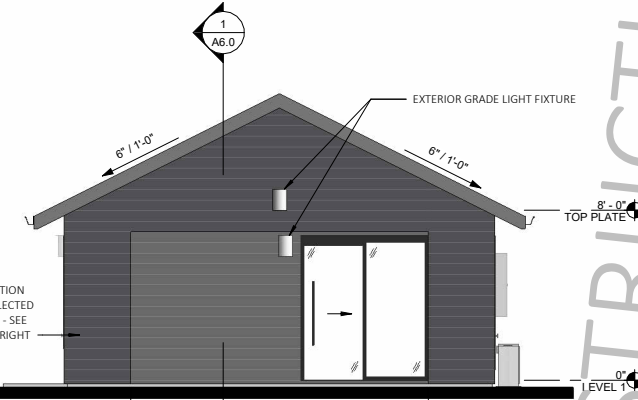
RCP & ROOF PLAN

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1 PLAN NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PLAN EAST ELEVATION
SCALE: 1/4" = 1'-0"

SHEET NOTES

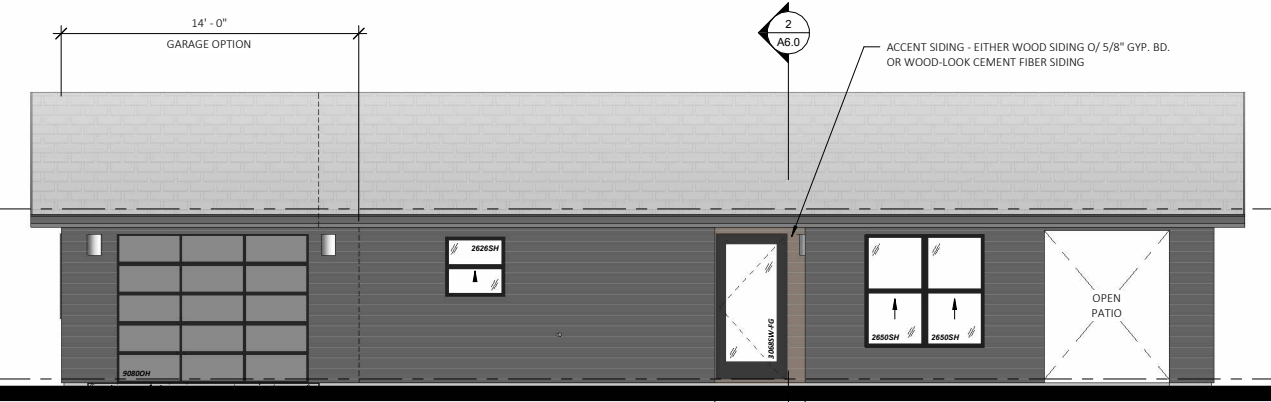
- EGRESS WINDOWS TO BE 20" WIDE MIN., 24" HIGH MIN., 5.7 SQ FT MIN., AND 44" MAX. BETWEEN FINISH FLOOR AND FINISHED SILL HEIGHT.
- RE: G2.0, G3.0 AND G4.0 FOR ADDITIONAL APPLICABLE CODES
- RE: A7.0 & A8.0 FOR WINDOW AND DOOR DETAILS
- EXTERIOR WINDOWS AND EXTERIOR DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:
 - BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION R308 SAFETY GLAZING, OR
 - BE CONSTRUCTED OF GLASS BLOCK, OR
 - HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR
 - BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2
- EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR
 - THE EXTERIOR SURFACE OR CLADDING SHALL BE OF IGNITION-RESISTANCE MATERIAL, OR
 - THE EXTERIOR DOOR SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - STILES AND RAILS SHALL BE NOT LESS THAN 1 3/8" THICK.
 - PANELS SHALL NOT BE LESS THAN 1 1/4" THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO A TONGUE NOT LESS THAN 3/8" THICK.
 - THE EXTERIOR DOOR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252.
 - THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF ASTM E2707.
 - THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1
- EXTERIOR GARAGE DOORS SHALL BE PROVIDED WITH WEATHER STRIPPING TO RESIST THE INTRUSION OF EMBERS FROM ENTERING THROUGH GAPS BETWEEN DOORS AND DOOR OPENINGS WHEN VISIBLE GAPS EXCEED 1/8". WEATHER STRIPPING OR SEALS SHALL BE INSTALLED ON THE BOTTOM, SIDES AND TOPS OF DOORS TO REDUCE GAPS BETWEEN DOORS AND DOOR OPENINGS TO 1/8" OR LESS.

EXTERIOR SIDING OPTIONS

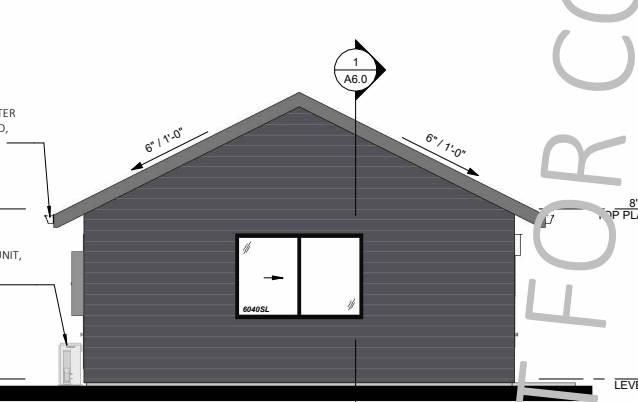
OPTION 1: (SHOWN IN ELEVATIONS IN DARK COLORWAY)
WUI COMPLIANT FIBER CEMENT LAP SIDING (HARDIE OR EQUAL)

OPTION 2:
CEMENT PLASTER FINISH - COLOR TO BE SELECTED BY OWNER
1-COAT WUI-COMPLIANT CEMENT PLASTER SYSTEM (STO POWERWALL OR EQUAL) / O/RIGID INSULATION

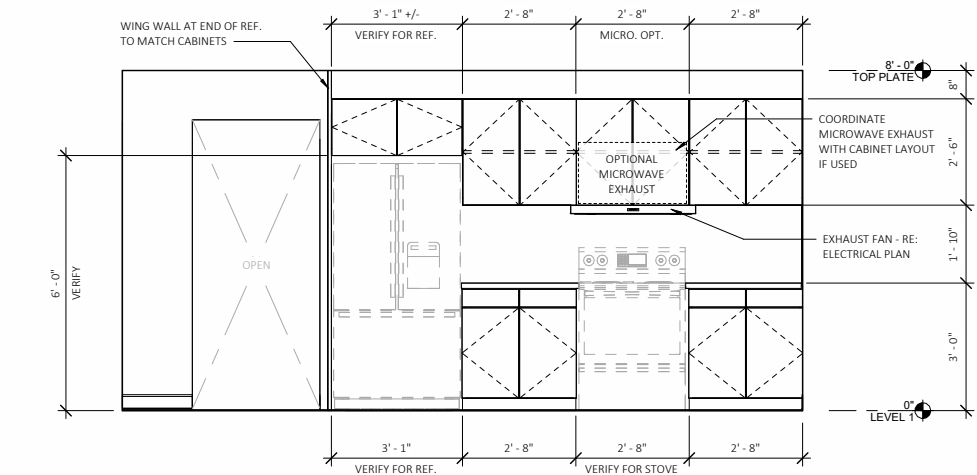
OPTION 3:
WUI COMPLIANT FIBER CEMENT PANELING (HARDIE OR EQUAL)



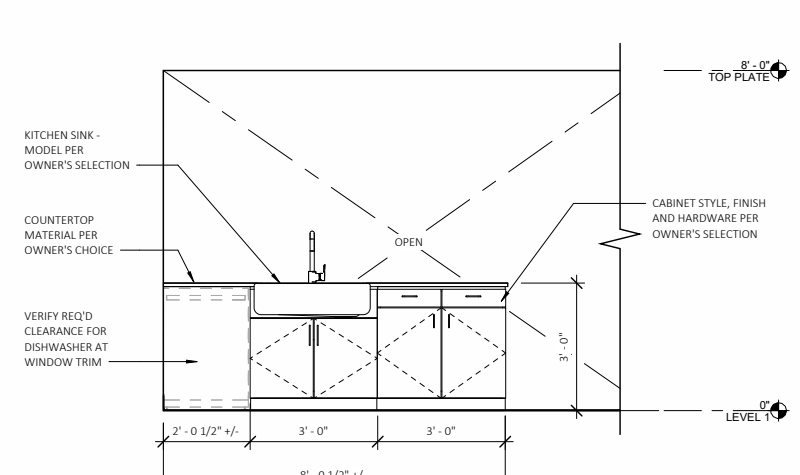
3 PLAN SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



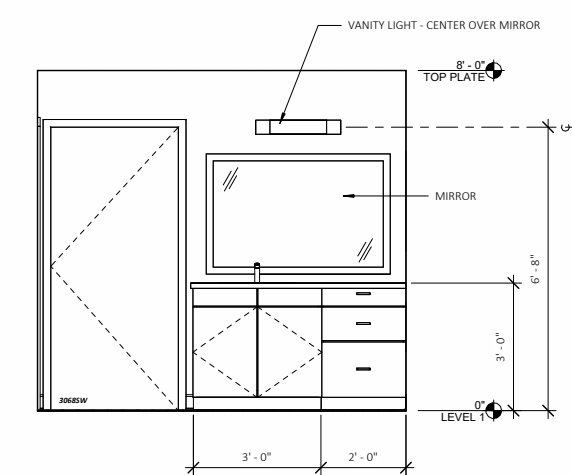
4 PLAN WEST ELEVATION
SCALE: 1/4" = 1'-0"



5 KITCHEN CABINET ELEVATION (WEST)
SCALE: 1/2" = 1'-0"



6 KITCHEN PENINSULA CABINET ELEVATION (EAST)
SCALE: 1/2" = 1'-0"



7 BATHROOM CABINET ELEVATION
SCALE: 1/2" = 1'-0"



PROJECT

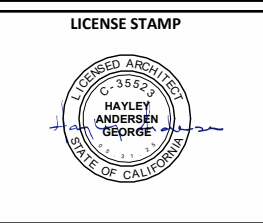
COUNTY OF SHASTA CALIFORNIA

SHASTA COUNTY PRE-APPROVED ADUS

ADU 1 - PACIFIC CREST COTTAGE

REVISIONS

DATE	DESCRIPTION



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INTERIOR & EXTERIOR ELEVATIONS

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